

# *HARBOUR MANSION CONDOMINIUM ASSOCIATION*

675 Ocean Avenue  
West End, NJ 07740  
732 229-7900

September 20, 2017

Homeowner/Resident  
675 Ocean Avenue  
West End, NJ 07740

Dear Sir/Madam:

The Board of Trustees of Harbour Mansion Condominium Association have revised their policy in regards to window replacement. The window replacement guidelines as submitted by Falcon and revised by Falcon on March 17, 2017 remain in full effect as they pertain to Architectural Removal and Installation Guidelines. In regards to Performance and Class, at a minimum, windows should be Light Commercial and meet or exceed the AAMA standards regarding water resistance, load deflection and structural load.

Unit owners will be required to sign a hold harmless agreement in addition to the architectural modification form in regards to windows. They also will be required to submit all items as outlined on the form and contained in the policy.

As always if there are any questions, please contact me at 732-229-7900 or via email at [Lisaw@mpm-nj.com](mailto:Lisaw@mpm-nj.com).

Lisa Williams  
Property Manager  
Midlantic Property Management  
On Behalf of the Board of Trustees  
Harbour Mansion Condominium Association

# *HARBOUR MANSION CONDOMINIUM ASSOCIATION*

675 Ocean Avenue  
West End, NJ 07740  
732 229-7900

April 5, 2017

Homeowner/Resident  
675 Ocean Avenue  
West End, NJ 07740

Dear Sir/Madam:

Please find the revised Specifications and Plans for the Window Replacement Project at the Harbour Mansion Condominium Association. Please note that the latest revisions include changes to specifications for aluminum finishes and metal capping. Following discussion with window manufacturers and due to the anticipated limited replacement windows to be ordered at a single time the previously specified finish and capping may not be available. Manufacturers may require minimum order sizes in order to provide certain specified finishes and capping accessories. As a result of this limitation, the specifications have been revised to include two additional finishes. Similarly the specification for use of extruded aluminum capping has been revised to 0.040in. aluminum precision bent metal which can be sourced or fabricated by window installers and need not be produced by the manufacturer.

As always if there are any questions, please contact me at 732-229-7900 or via email at [Lisaw@mpm-nj.com](mailto:Lisaw@mpm-nj.com).

Lisa Williams  
Property Manager  
Midlantic Property Management



# **THE FALCON GROUP**

**ENGINEERING | ARCHITECTURE | ENERGY  
CONSULTING ENGINEERS**

## **GUIDELINES FOR WINDOW REPLACEMENT**

Y:\CLIENTS\FALCON2004\04-369\DOCUMENTS\WINDOW REPLACEMENT\SPECIFICATIONS\S170317 - ...WINDOW REPLACEMENT GUIDELINES.REV.DOCX

<b>LOCATION:</b>	<b>Harbour Mansion Condominium Association 675 Ocean Avenue Long Branch, New Jersey 07740</b>
<b>PROJECT MANAGER:</b>	<b>Anthony Volpe, P.E. Principal</b>
<b>PREPARED BY:</b>	<b>The Falcon Group Consulting Engineers 682 Hwy 202/206 Bridgewater, NJ 08807</b>
<b>DATE:</b>	<b>May 6, 2016 <i>Revised March 17, 2017</i></b>

NOTE: THESE DOCUMENTS SHALL NOT BE USED WITHOUT THE DIRECT KNOWLEDGE OF FALCON ENGINEERING, AND SHALL NOT BE DUPLICATED OR USED FOR ANY WORK OTHER THAN WINDOW REPLACEMENTS AT THE HARBOUR MANSION CONDOMINIUM.



## **REPLACEMENT WINDOWS**

### ***(WINDOW TYPE A)***

#### **SEE ATTACHED DRAWING SHEETS A102 AND A103 FOR WINDOW TO BE REPLACED**

#### **REMOVAL OF EXISTING WINDOWS AND ASSOCIATED COMPONENTS**

Remove existing window main frames, sash frames, glazing, painting beads, stops, sealants, sheet metal capping, concealed frames and other trims, flashings and components associated with existing exterior windows to expose the rough masonry opening. Precast exterior sill to remain. Extreme care shall be taken to prevent damage to existing masonry and precast sill.

**Report damage to existing masonry, precast exterior sill and structural steel lintel immediately to Building Management to allow for inspection and repair of same prior to proceeding with replacement window installation.**

All debris associated with removal of existing window and associated components shall be removed off-site and shall not be placed in Harbour Mansion refuse containers.

*At the discretion of the Shareholder the Association will permit owners to leave original wood window frames and blocking in place provided same are found to be structural sound. Owners are encouraged to remove and replace all existing wood to expose the masonry wall opening as noted above in this section.*

#### **JOINT SEALANT FOR REPLACEMENT WINDOWS (I.E. CAULKING)**

Provide high quality polyurethane elastomeric sealant between exterior perimeter of replacement window and masonry opening including but not limited to window head (at concrete slab or steel lintel), window jambs (at brick masonry) and exterior sill (at metal sill cover) to provide continuous barrier to air and water penetration. Sealant shall be Sikaflex 15LM as manufactured by Sika Corporation and color shall be White. Provide manufacturer recommended joint backing and install per manufacturer published installation requirements. **Extreme care should be taken to not apply sealant over weeps or joints in construction where water is designed to drain to the building exterior. Sealant shall also not be installed along joints between steel lintels or concrete and brick.**

Provide high quality latex elastomeric sealant between interior perimeter of replacement window and interior finishes. Sealant shall be one-part, non-sag, mildew-resistant, paintable latex sealant. Color shall be approved by shareholder.

#### **REPLACEMENT WINDOW UNIT**

Replacement Window units shall meet or exceed the following performance specifications:

- Performance grade CW/AW 40 in compliance with AAMA/WDMA/CSA 101/I.S.2/A440.
- Maximum whole window U Value of 0.55 BTU/SQ. FT. X H X DEG. F.
- Maximum whole window solar heat gain coefficient (SHGC) of 0.40.
- Minimum condensation resistance factor (CRF) of 50. *Based on average indoor temperature of 70degrees F and relative humidity of 30%. Where interior conditions vary please contact Assoc.*
- Maximum permissible air infiltration (sliding seal products) of 6.2 psf at 0.3 cfm/ft2.
- Zero water leakage when tested at 9psf



- Window operation and configuration shall conform to the attached replacement drawings. *Where shown on the attached drawing Sheets A200 and A201 the shareholder may select Association approved alternate window configuration. Configurations not shown on the attached drawings shall not be permitted. The shareholder may also select to alter the operation of double hung window units to single hung window units provided there is no aesthetical difference when viewed from the exterior. Similarly the shareholder may select to install tilt wash or side load window units at their discretion provided there is no aesthetical difference when viewed from the exterior.*
- Alteration of the masonry opening shall be prohibited, replacement windows shall conform to dimensions of existing masonry opening.
- *Window frame shall be thermally broken with either precast or pour/de-bridge thermal barrier between the interior and exterior extrusions.*
- *Replacement window frames shall have organic coating complying with AAMA 2605, anodic coating complying with AAMA 611 Architectural Class I or powder coating complying with AAMA 2604 on all exterior surfaces. Color shall be white. Shareholder shall provide swatch of finish on a section of window frame provided by the window manufacturer to Building Management for approval prior to fabrication of replacement windows.*
- Replacement window frames shall conform to the following dimensional requirements:
  - Head- 3 ¼" – 3 ⅝"
  - Sill- 4 ½" – 5"
  - Jambs- 3 ¾" – 4 ⅛"
  - Meeting Rail- 2 ¾" – 3 ⅛"
  - Mullion- 7 ¼" – 7 ⅝"

*Where owners elect to not replace original wood frames and blocking where same is determined to be structurally sound the owner or their contractor shall submit to the Association for review and approval the finished frame dimensions including that of the remaining wood frame and blocking.*

- *Glazing shall be ASTM E 2190, certified through IGCC as complying with requirements of IGCC.*
- *Glass: ASTM C 1036, Type 1, Class 1, Quality q3.*
- *Kind: Fully tempered when installed in (a) installed less than or equal to 60 inches above floor of tubs, showers, steam rooms, whirlpools, and saunas, (b) installed within 24 inch arc of the vertical edge of a door in a closed position and less than 60 inches above the walking surface. Each pane shall bear the manufacturers mark reporting the type and thickness of glass. Mark shall be etched into the glass.*
- *Lites: Two.*
- *Filling: Fill space between glass lites with air or argon gas.*
- *Low-E Coating: Pyrolytic on second surface*
- *Glazing shall be clear with no tint. Internal shades and other glazing specialties is prohibited.*

## REPLACEMENT WINDOW INSTALLATION

- Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure weather tight window installation.
- Comply with manufacturer's written instructions for installing windows hardware, accessories, and other components. For installation procedures and requirements not addressed in manufacturer's written instructions, comply with installation requirements in ASTM E 2112.
- Secure blocking to concrete or 100 percent solid masonry with expansion bolts near the ends and corners of the blocking, and at a spacing of not more than 12 inches in between.
  - *Where existing wood window frames and blocking are found to be structurally sound and the owner elects to retain new window frames shall be anchored through said frames and*



*blocking and secured directly to the masonry and/or concrete substrates. Anchoring new windows frames solely to existing wood frames and blocking shall be prohibited.*

- Install low pressure minimal expansion polyurethane spray foam insulation to seal all gaps between frame and masonry opening including cavity between brick and concrete masonry at window perimeter. Compressible foam backing shall be installed vertically to limit placement of foam insulation within the wall cavity and to prevent impacts to wall drainage. Where existing wood window frames and blocking will remain install insulation to seal all gaps between layers for air and water-tight installation.
- Install flashing to seal masonry opening prior to installation of new window frame.
- Install new exterior sill cover and seal.
- Install windows level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction to produce weather tight construction.
- Install windows and components to drain condensation, water penetrating joints, and moisture migrating within windows to the exterior.
- *Provide 0.040in. precision bent capping to cover wood frames. Capping shall be finished to match replacement window unit and secured to prevent blow-off.*
- Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials. Installation to be on oceanfront property and all fasteners and hardware shall be designed to resist atmospheric corrosion from coastal environment.
- Furnish, install and finish new interior casings and sill as required and as requested/directed by the shareholder.
- Adjust operating sashes and hardware for a tight fit at contact points and weather stripping for smooth operation and weather tight closure.
- Clean exposed surfaces immediately after installing windows. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, non-permanent labeling, protective films dirt, and other substances. Keep protective films and coverings in place until final cleaning.
- Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

### ***(WINDOW TYPE B)***

**SEE ATTACHED DRAWING SHEETS A102 AND A103 FOR WINDOW TO BE REPLACED**

#### **REMOVAL OF EXISTING WINDOWS AND ASSOCIATED COMPONENTS**

Remove existing window main frames, sash frames, glazing, painting beads, stops, sealants, sheet metal capping, concealed frames and other trims, flashings and components associated with existing exterior windows to expose the rough masonry opening. Precast exterior sill to remain. Extreme care shall be taken to prevent damage to existing masonry and precast sill.

**Report damage to existing masonry, precast exterior sill and structural steel lintel immediately to Building Management to allow for inspection and repair of same prior to proceeding with replacement window installation.**

All debris associated with removal of existing window and associated components shall be removed off-site and shall not be placed in Harbour Mansion refuse containers.



*At the discretion of the Shareholder the Association will permit owners to leave original wood window frames and blocking in place provided same are found to be structural sound. Owners are encouraged to remove and replace all existing wood to expose the masonry wall opening as noted above in this section.*

#### **JOINT SEALANT FOR REPLACEMENT WINDOWS (I.E. CAULKING)**

Provide high quality polyurethane elastomeric sealant between exterior perimeter of replacement window and masonry opening including but not limited to window head (at concrete slab or steel lintel), window jambs (at brick masonry) and exterior sill (at metal sill cover) to provide continuous barrier to air and water penetration. Sealant shall be Sikaflex 15LM as manufactured by Sika Corporation and color shall be White. Provide manufacturer recommended joint backing and install per manufacturer published installation requirements. **Extreme care should be taken to not apply sealant over weeps or joints in construction where water is designed to drain to the building exterior. Sealant shall also not be installed along joints between steel lintels or concrete and brick.**

Provide high quality latex elastomeric sealant between interior perimeter of replacement window and interior finishes. Sealant shall be one-part, non-sag, mildew-resistant, paintable latex sealant. Color shall be approved by shareholder.

#### **REPLACEMENT WINDOW UNIT**

Replacement Window units shall meet or exceed the following performance specifications:

- Performance grade CW/AW 50 in compliance with AAMA/WDMA/CSA 101/I.S.2/A440.
- Maximum whole window U Value of 0.55 BTU/SQ. FT. X H X DEG. F.
- Maximum whole window solar heat gain coefficient (SHGC) of 0.40.
- Minimum condensation resistance factor (CRF) of 50. *Based on average indoor temperature of 70degrees F and relative humidity of 30%. Where interior conditions vary please contact Assoc.*
- Maximum permissible air infiltration (sliding seal products) of 6.2 psf at 0.3 cfm/ft2.
- Zero water leakage when tested at 10psf
- Window operation and configuration shall conform to the attached replacement drawings. *Where shown on the attached drawing Sheets A200 and A201 the shareholder may select Association approved alternate window configuration. Configurations not shown on the attached drawings shall not be permitted. The shareholder may also select to alter the operation of double hung window units to single hung window units provided there is no aesthetical difference when viewed from the exterior. Similarly the shareholder may select to install tilt wash or side load window units at their discretion provided there is no aesthetical difference when viewed from the exterior.*
- Alteration of the masonry opening shall be prohibited, replacement windows shall conform to dimensions of existing masonry opening.
- *Window frame shall be thermally broken with either precast or pour/de-bridge thermal barrier between the interior and exterior extrusions.*
- *Replacement window frames shall have organic coating complying with AAMA 2605, anodic coating complying with AAMA 611 Architectural Class I or powder coating complying with AAMA 2604 on all exterior surfaces. Color shall be white. Shareholder shall provide swatch of finish on a section of window frame provided by the window manufacturer to Building Management for approval prior to fabrication of replacement windows.*
- Replacement window frames shall conform to the following dimensional requirements:
  - Head- 3 ¼” – 3 ⅝”
  - Sill- 4 ½” – 5”
  - Jambs- 3 ¾” – 4 ⅛”
  - Meeting Rail- 2 ¾” – 3 ⅛”



- Mullion- 7 1/4" – 7 5/8"

*Where owners elect to not replace original wood frames and blocking where same is determined to be structurally sound the owner or their contractor shall submit to the Association for review and approval the finished frame dimensions including that of the remaining wood frame and blocking.*

- *Glazing shall be ASTM E 2190, certified through IGCC as complying with requirements of IGCC.*
- *Glass: ASTM C 1036, Type 1, Class 1, Quality q3.*
- *Kind: Fully tempered when installed in (a) installed less than or equal to 60 inches above floor of tubs, showers, steam rooms, whirlpools, and saunas, (b) installed within 24 inch arc of the vertical edge of a door in a closed position and less than 60 inches above the walking surface. Each pane shall bear the manufacturers mark reporting the type and thickness of glass. Mark shall be etched into the glass.*
- *Lites: Two.*
- *Filling: Fill space between glass lites with air or argon gas.*
- *Low-E Coating: Pyrolytic on second surface*
- *Glazing shall be clear with no tint. Internal shades and other glazing specialties is prohibited.*

## Replacement Window Installation

- Examine wall flashings, vapor retarders, water and weather barriers, and other built-in components to ensure weather tight window installation.
- Comply with manufacturer's written instructions for installing windows hardware, accessories, and other components. For installation procedures and requirements not addressed in manufacturer's written instructions, comply with installation requirements in ASTM E 2112.
- Secure blocking to concrete or 100 percent solid masonry with expansion bolts near the ends and corners of the blocking, and at a spacing of not more than 12 inches in between.
  - *Where existing wood window frames and blocking are found to be structurally sound and the owner elects to retain new window frames shall be anchored through said frames and blocking and secured directly to the masonry and/or concrete substrates. Anchoring new windows frames solely to existing wood frames and blocking shall be prohibited.*
- Install low pressure minimal expansion polyurethane spray foam insulation to seal all gaps between frame and masonry opening including cavity between brick and concrete masonry at window perimeter. Compressible foam backing shall be installed vertically to limit placement of foam insulation within the wall cavity and to prevent impacts to wall drainage. Where existing wood window frames and blocking will remain install insulation to seal all gaps between layers for air and water-tight installation.
- Install flashing to seal masonry opening prior to installation of new window frame.
- Install exterior sill cover and seal.
- Install windows level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction to produce weather tight construction.
- Install windows and components to drain condensation, water penetrating joints, and moisture migrating within windows to the exterior.
- *Provide 0.040in. precision bent capping to cover wood frames where applicable. Capping shall be finished to match replacement window unit and secured to prevent blow-off.*
- Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials. Installation to be on oceanfront property and all fasteners and hardware shall be designed to resist atmospheric corrosion from coastal environment.





- Furnish, install and finish new interior casings and sill as required and as requested/directed by the shareholder.
- Adjust operating sashes and hardware for a tight fit at contact points and weather stripping for smooth operation and weather tight closure.
- Clean exposed surfaces immediately after installing windows. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, non-permanent labeling, protective films dirt, and other substances. Keep protective films and coverings in place until final cleaning.
- Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

# HARBOUR MANSION C.A.

## LONG BRANCH, NEW JERSEY

### WINDOW REPLACEMENT

#### PROCEDURES:

- CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL PERMITS AND INSPECTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 NEW JERSEY EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL APPLICABLE FEDERAL, STATE, COUNTY, AND OR LOCAL REGULATIONS.
- THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS, CHECK AND VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB.
- THE CONTRACTOR SHALL NOTIFY THE PROFESSIONAL OF RECORD OF ANY DISCREPANCY IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK RELATED OR AFFECTED BY THE DISCREPANCY. THE PROFESSIONAL OF RECORD CAN BE CONTACTED AT (908) 595-0050.
- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE OF THE NEED FOR CLARIFICATION OR ADDITIONAL INFORMATION FROM THE PROFESSIONAL OF RECORD.
- THE PROFESSIONAL OF RECORD SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, SAFETY PRECAUTIONS AND SAFETY PROGRAMS IN CONNECTION WITH THE WORK THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- THE PROFESSIONAL OF RECORD SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR ABILITY TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE PROFESSIONAL OF RECORD SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- THE OWNER AND CONTRACTOR SHALL HOLD THE PROFESSIONAL AND THE PROFESSIONAL OF RECORD'S EMPLOYEES FROM ANY DISPUTE OR DAMAGES ARISING FROM NONCOMPLIANCE TO THESE CONTRACTS, DRAWINGS OR CODES, INCLUDING BUT NOT LIMITED TO ANY PAYMENTS OR LEGAL FEES.
- DO NOT SCALE DRAWINGS, CONTACT PROFESSIONAL OF RECORD FOR CLARIFICATIONS IF REQUIRED.

#### CONSTRUCTION CODE COMPLIANCE:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2015 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION.

#### GENERAL DEMOLITION NOTES:

- THE DEMOLITION AND REMOVAL OF ANY EXISTING CONSTRUCTION ON SITE AS REQUIRED FOR THIS PROJECT SHALL BE PART OF THIS CONTRACT. CONTRACTOR SHALL ADHERE TO ALL CONSTRUCTION INDUSTRY STANDARD PRACTICE TECHNIQUES FOR STRUCTURAL DEMOLITION AS REQUIRED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY SHORING OR BRACING AS REQUIRED TO SUPPORT THE REMAINING STRUCTURE WHEN ANY LOAD BEARING STRUCTURE IS REMOVED.
- PROTECT ALL UTILITY LINES FROM DAMAGE DURING DEMOLITION.
- CONSTRUCT TEMPORARY FENCING AS BARRIER TO PREVENT ACCESS INTO AREA OF WORK OR STAGING AREAS, FENCING SHALL REMAIN IN PLACE UNTIL ALL AREAS ARE STABILIZED OR MATERIALS REMOVED.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ADHERING TO AND ENFORCING ALL DEMOLITION SAFETY RULES AND REGULATIONS AS MAY BE REQUIRED BY LOCAL, STATE OR OSHA REGULATIONS.
- THE CONTRACTOR SHALL CONSULT WITH THE PROFESSIONAL OF RECORD IF ANY DOUBTFUL CONDITIONS ARE ENCOUNTERED DURING THE DEMOLITION PHASE. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL ANY DOUBTFUL CONDITIONS ARE RESOLVED. CONTRACTOR SHALL DETERMINE THE SEQUENCING OF DEMOLITION AND CONSTRUCTION.
- THE PROFESSIONAL OF RECORD SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR POSSIBLE REMOVAL OF THE FOLLOWING ITEMS FROM THE PROJECT SITE WHICH MAY BE DISCOVERED DURING THE COURSE OF EXCAVATION, DEMOLITION AND CONSTRUCTION:
  - ASBESTOS, LEAD, PCBs OR ANY OTHER MATERIAL CLASSIFIED AS HAZARDOUS.

UPON DISCOVERY, THE CONTRACTOR SHALL NOT DISTURB OR DAMAGE ANY OF THE ABOVE MENTIONED ITEMS, BUT SHALL NOTIFY THE OWNER IMMEDIATELY OF THE SITUATION. FURTHERMORE THE CONTRACTOR SHALL PROCEED WITH ARRANGING FOR ALL INSPECTIONS AND FOR HIRING APPROPRIATE LICENSED PROFESSIONALS AS REQUIRED TO RECTIFY THE DISCOVERED PROBLEM. THE CONTRACTOR SHALL ADVISE THE OWNER OF ALL EXTRA COSTS BEFORE PROCEEDING WITH THE WORK AND SHALL OBTAIN APPROVALS FROM ALL REGULATORY AGENCIES.

#### EXISTING STRUCTURAL CONDITIONS:

THE EXISTING STRUCTURE INDICATED ON PLANS IS ASSUMED. THE CONTRACTOR SHALL EXPOSE THE EXISTING STRUCTURE AS REQUIRED TO CONFIRM TRUE CONDITIONS BEFORE PROCEEDING WITH ANY RENOVATIONS. NOTIFY AND CONSULT WITH PROFESSIONAL OF RECORD IF STRUCTURES Varies FROM ASSUMED CONDITIONS. NOTE THAT ALL ADDITIONAL STRUCTURAL WORKS MAY BE REQUIRED AFTER EXISTING STRUCTURAL MEMBERS ARE EXPOSED FOR EVALUATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETERMINATION AND INSTALLATION OF ADEQUATE TEMPORARY SUPPORTS FOR EXISTING STRUCTURE BEFORE THE REMOVAL OF ANY BEAMS AND GIRDERS OR STRUCTURAL COLUMNS.

#### GENERAL NOTES:

- ALL EXTERIOR FINISHES AND COLOR SELECTIONS SHALL BE CONFIRMED IN WRITING WITH THE CONDOMINIUM ASSOCIATION BEFORE PURCHASING SUCH ITEMS WHICH MAY BE SELECTED BASED UPON DESIGN PREFERENCES.
- UNLESS INDICATED, NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS CONSENT OF THE PROFESSIONAL OF RECORD.

#### WINDOW REPLACEMENT

- WINDOWS SHALL BE DOUBLE HUNG, SINGLE HUNG, OR FIXED TYPE AS SHOWN ON THESE PLANS.
- GLAZING SHALL BE CLEAR GLASS.
- ALL REPLACEMENT WINDOW FRAMES AND EXTERIOR TRIMS SHALL BE COATED WITH KYNAR PAINT WHERE EXPOSED TO THE ELEMENTS. COLOR TO BE WHITE. KYNAR SHALL CONFORM TO AAMA 2605.
- DOUBLE HUNG WINDOWS TO BE SUPPLIED WITH LIMIT STOPS. OWNER TO SPECIFY LOCATION OF STOPS. CONTRACTOR TO INSTALL STOPS.
- ALL OPERABLE WINDOWS TO RECEIVE FULL INSECT SCREENS WITH 18X16 MESH CHARCOAL FIBERGLASS MESH. SCREEN FRAME SHALL BE ALUMINUM AND FINISH TO MATCH WINDOW FRAME.
- CONTRACTOR SHALL INSTALL NEW URETHANE PERIMETER SEALANTS.
- WOOD BLOCKING SHALL BE PRESERVATIVE TREATED WHEN IN CONTACT WITH MASONRY. CONTRACTOR SHALL USE BITUMINOUS FLASHING TO SEPARATE TREATED BLOCKING AND ALL ALUMINUM.

\* THESE PLANS, REPLACEMENT GUIDELINES, AND BID DOCUMENTS ARE COMPLIMENTARY. CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IN WRITING. ALL FIELD CONDITIONS MUST BE VERIFIED BY THE CONTRACTOR.

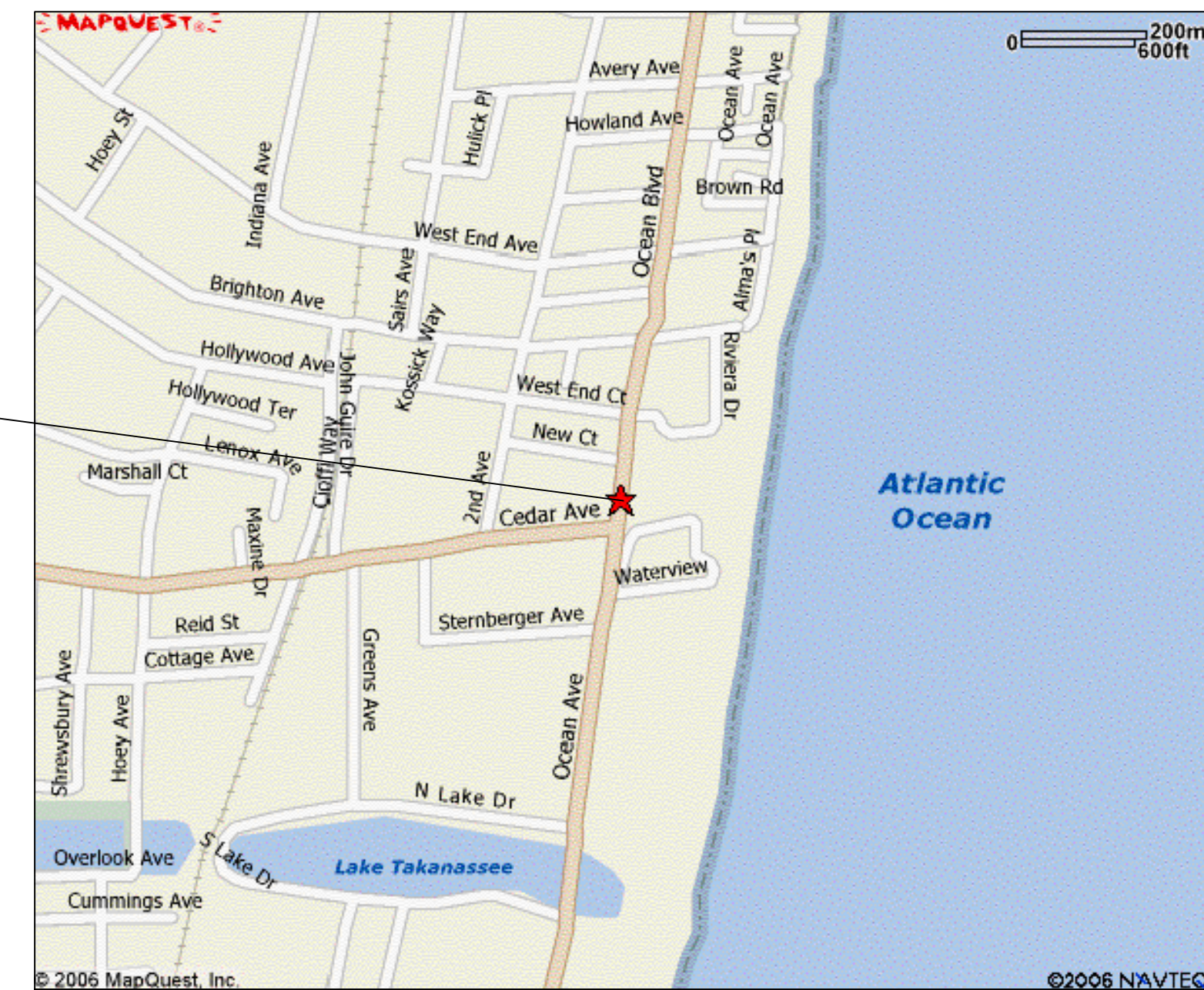
#### SCOPE OF WORK

- MOBILIZATION.
- REPLACEMENT OF EXTERIOR WINDOWS.
- DEMOLITION AND RESTORATION OF SITE.

#### DRAWING LIST

T-001	COVER SHEET
A-100	WINDOW ELEVATIONS
A-101	WINDOW ELEVATIONS
A-102	REPLACEMENT WINDOW PERFORMANCE SCHEDULE
A-103	REPLACEMENT WINDOW PERFORMANCE SCHEDULE
A-200	STANDARD WINDOW ELEVATIONS
A-201	ALTERNATE WINDOW ELEVATIONS
A-202	DETAILS

SITE LOCATION



SITE LOCATION MAP

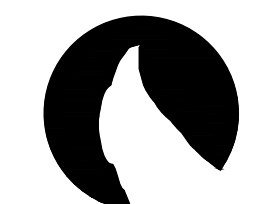
DESIGN IS SCHEMATIC. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO BIDDING.

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**THE FALCON GROUP**  
ENGINEERING, ARCHITECTURE & ENERGY CONSULTANTS  
NJ NY PA CT DC MD VA DE FL

682 US Highway 202/206 North  
Bridgewater, New Jersey 08807  
(908) 595-0050  
www.falconengineering.com



Window Replacement  
Harbour Mansion C.A.  
675 Ocean Avenue  
Long Branch, New Jersey

SHEET  
T-100

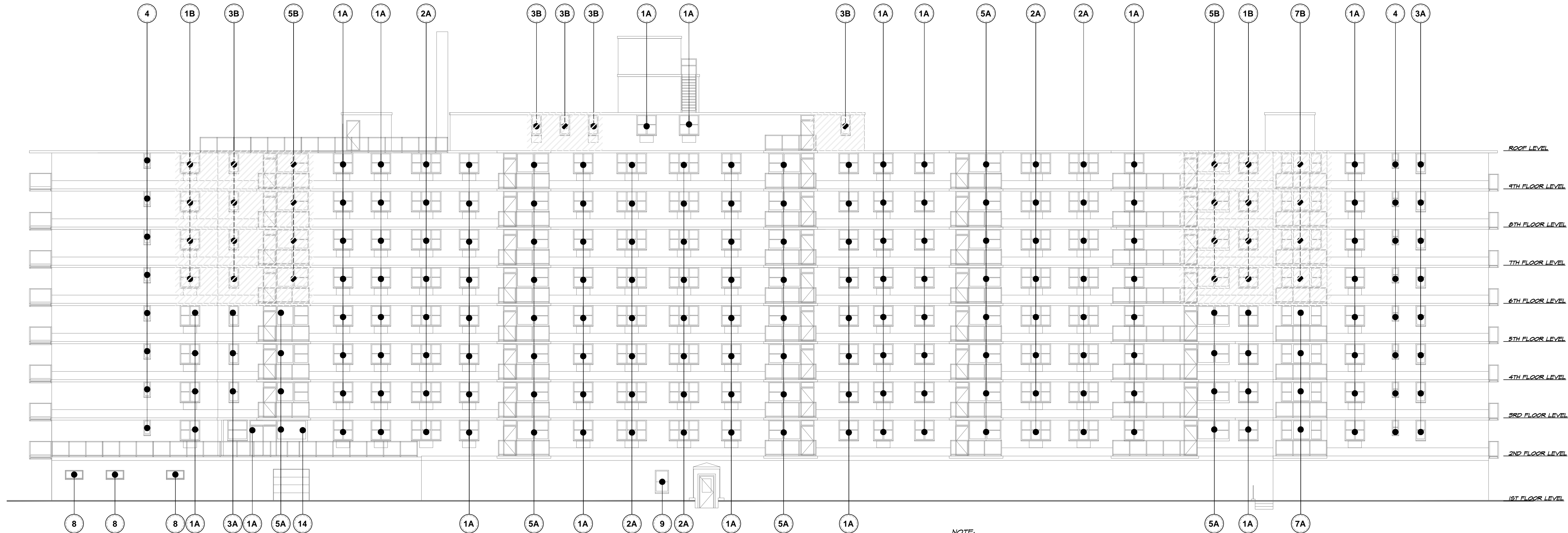
SHEET 1 OF 8

INIT.	NO.	DATE	ISSUED FOR	ISSUES
G	1	05/06/16		ISSUED FOR CONSTRUCTION
G	A	05/17/17		WINDOW FINISH REVISION
G	A	11/08/16		REVISED STANDARD GLAZING
INIT.	NO.	DATE		REVISION

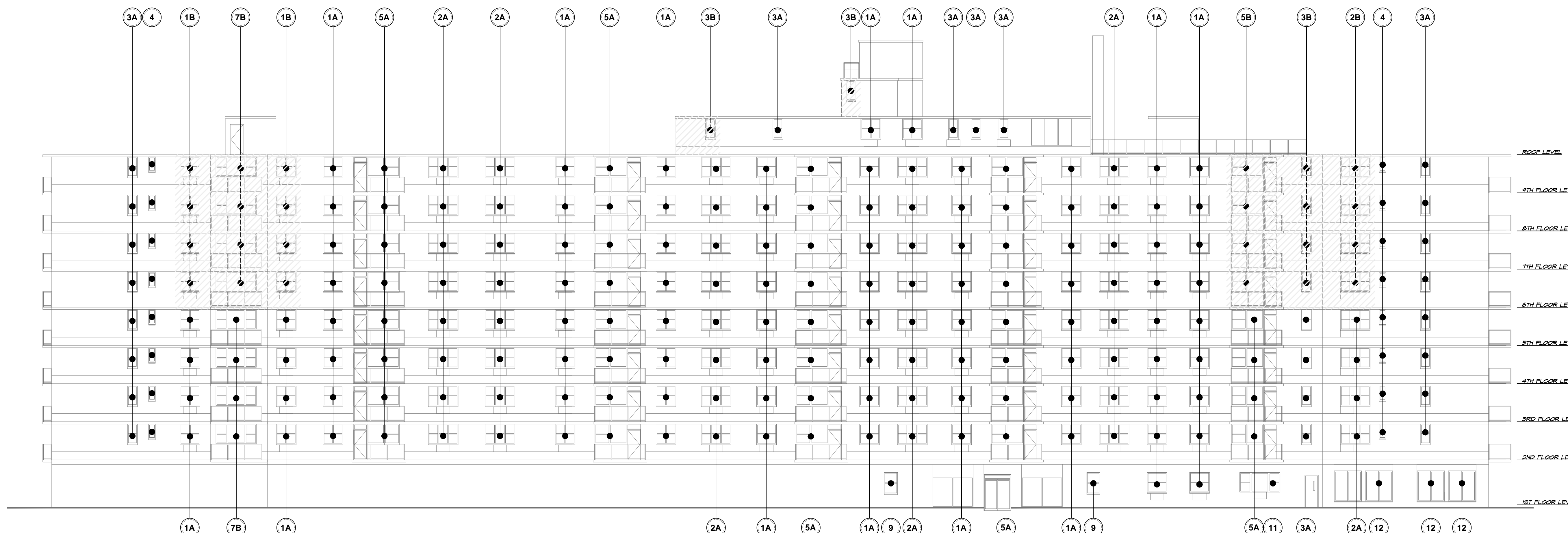
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SCALE:	AS NOTED	DATE:	02/03/15	PAPER SIZE:	24x36

**ANTHONY VOLPE**  
Professional Engineer NJ: #48136

THIS PLAN IS NOT VALID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE BY AN ENGINEER AND CONTAINS A RAISED SEAL EMBOSSED OVER SIGNATURE.



NORTH ELEVATION  
SCALE: N.T.S.



SOUTH ELEVATION  
SCALE: N.T.S.

DESIGN IS SCHEMATIC. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO BIDDING.

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Proposed North and South Elevations

Window Replacement  
Harbour Mansion C.A.  
675 Ocean Avenue  
Long Branch, New Jersey

**THE FALCON GROUP**  
ENGINEERING, ARCHITECTURE & ENERGY CONSULTANTS  
NJ NY PA CT DC MD VA DE FL

682 US Highway 202/206 North  
Bridgewater, New Jersey 08807  
(908) 595-0050  
www.falconengineering.com

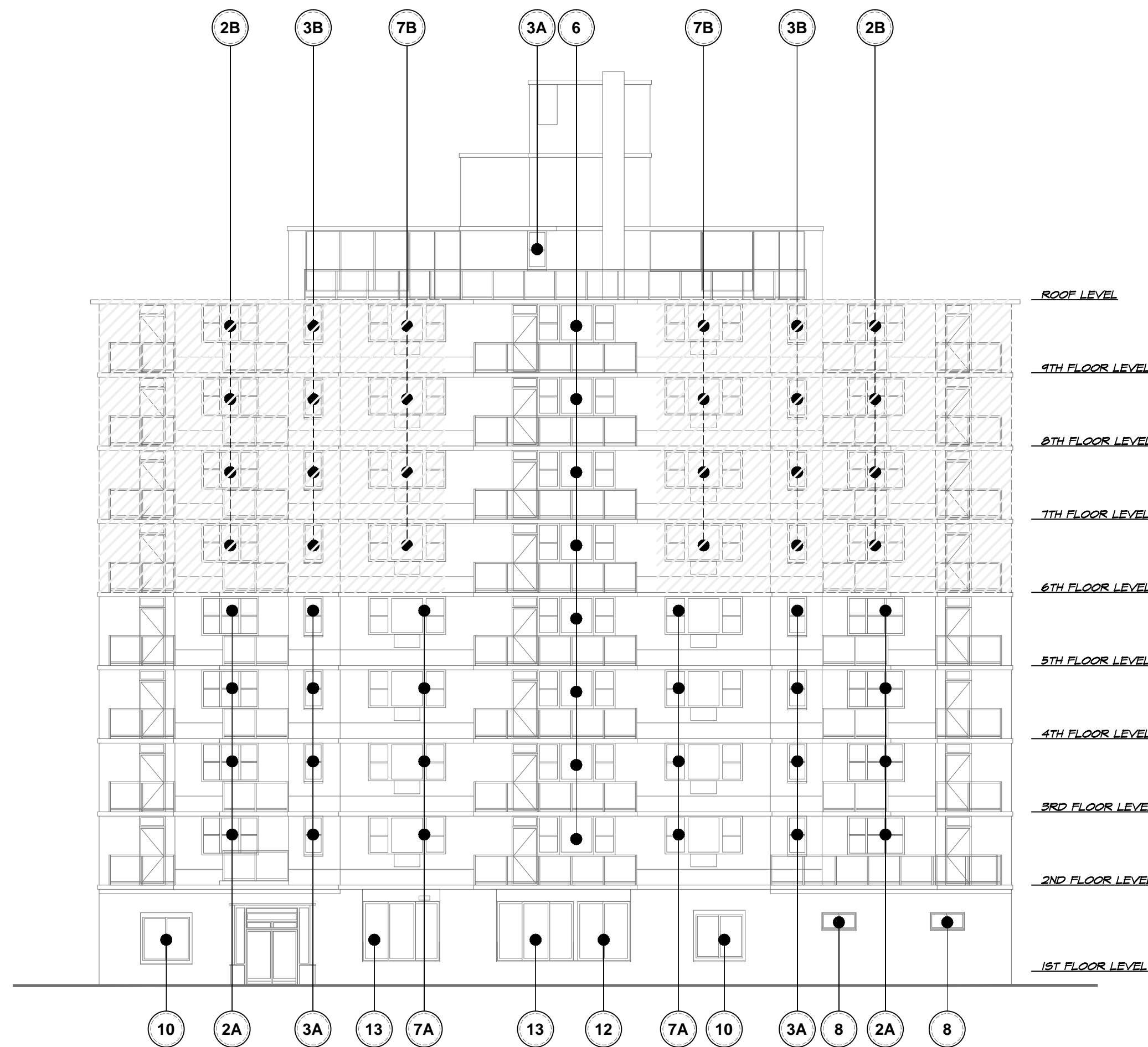
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DTPRS	AV	04-369	ISSUED FOR CONSTRUCTION
SCALE:	DATE:	PAPER SIZE:	WINDOW FINISH REVISION
AS NOTED	02/03/15	24x36	REVISED STANDARD GLAZING
			REVISION

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ANTHONY VOLPE  
Professional Engineer NJ #48136

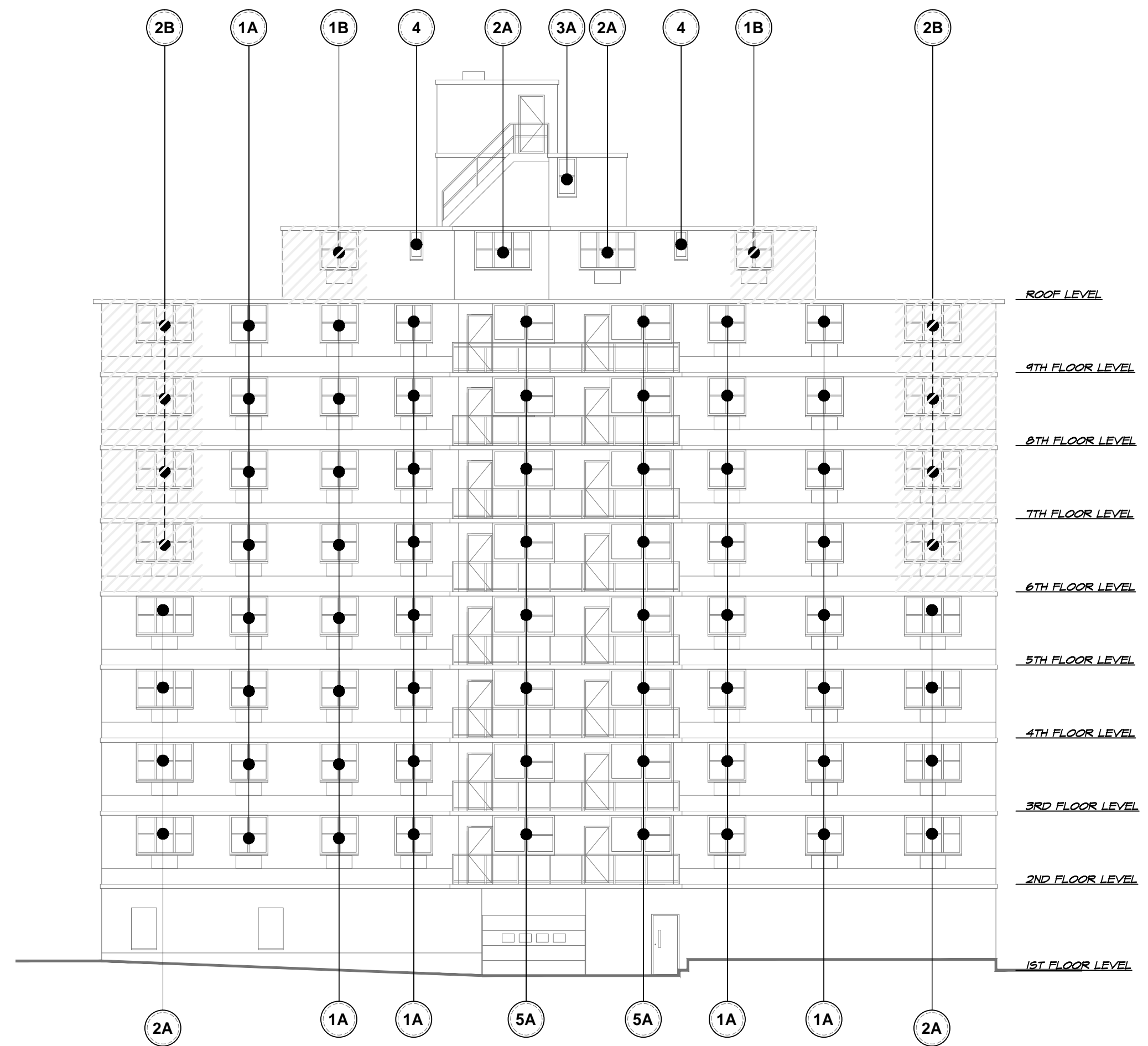
SHEET  
**A-100**

SHEET 2 OF 8



EAST ELEVATION  
SCALE: N.T.S.

NOTE:  
 - HIGH-WIND PERFORMANCE WINDOWS



WEST ELEVATION  
SCALE: N.T.S.

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Window Elevations  
 Window Replacement  
 Harbour Mansion C.A.  
 675 Ocean Avenue  
 Long Branch, New Jersey

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			REVISION

INIT: G 1  
 NO. 1  
 DATE 05/06/16

INIT: G A  
 NO. 1  
 DATE 05/17/17

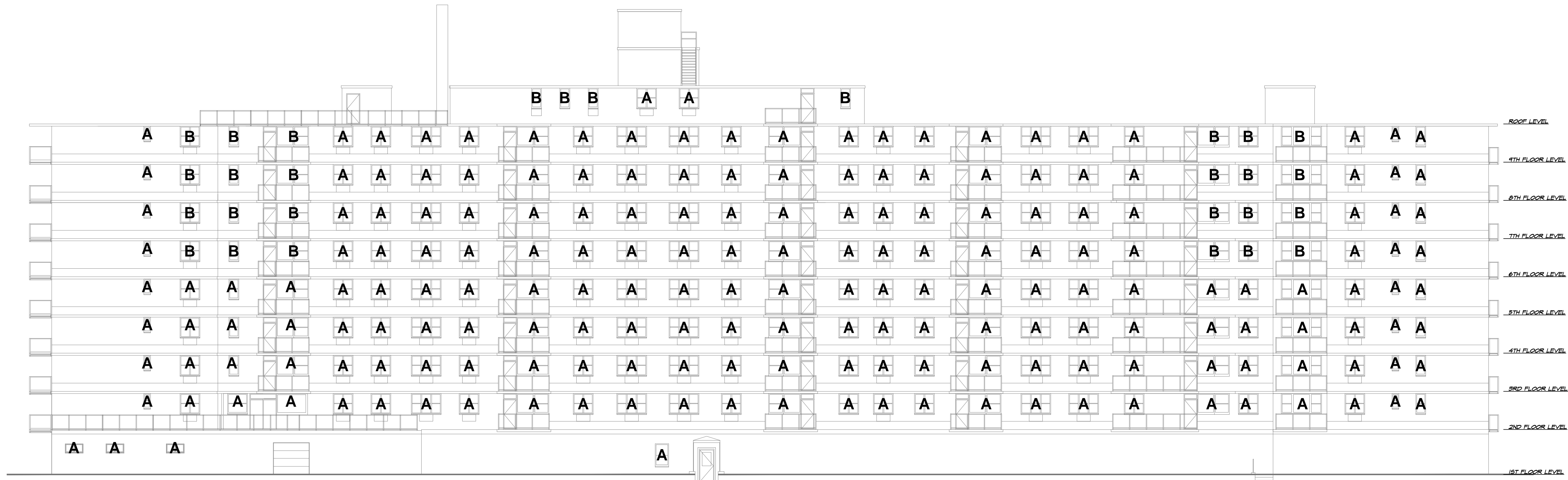
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 NO. 1  
 DATE 11/08/16

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**ANTHONY VOLPE**  
 Professional Engineer NJ #48136

SHEET  
**A-101**

SHEET 3 OF 8

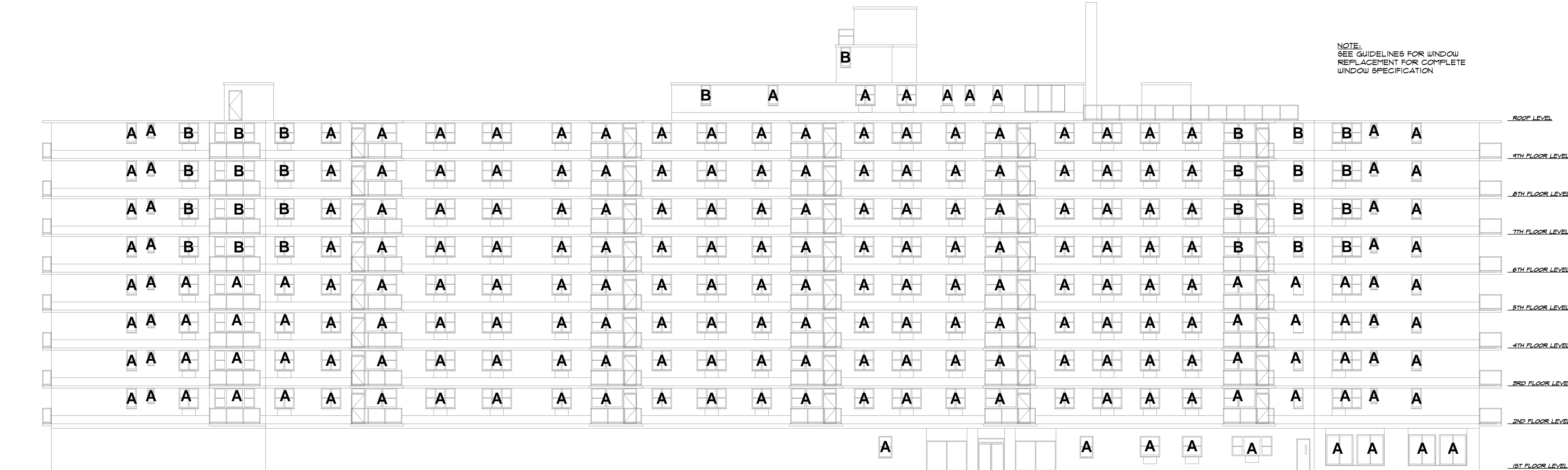


NORTH ELEVATION  
SCALE: N.T.S.

KEY:

A	CW/AW 40
B	CW/AW 50

NOTE:  
SEE GUIDELINES FOR WINDOW  
REPLACEMENT FOR COMPLETE  
WINDOW SPECIFICATION



SOUTH ELEVATION  
SCALE: N.T.S.

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Professional Engineer NJ #48136

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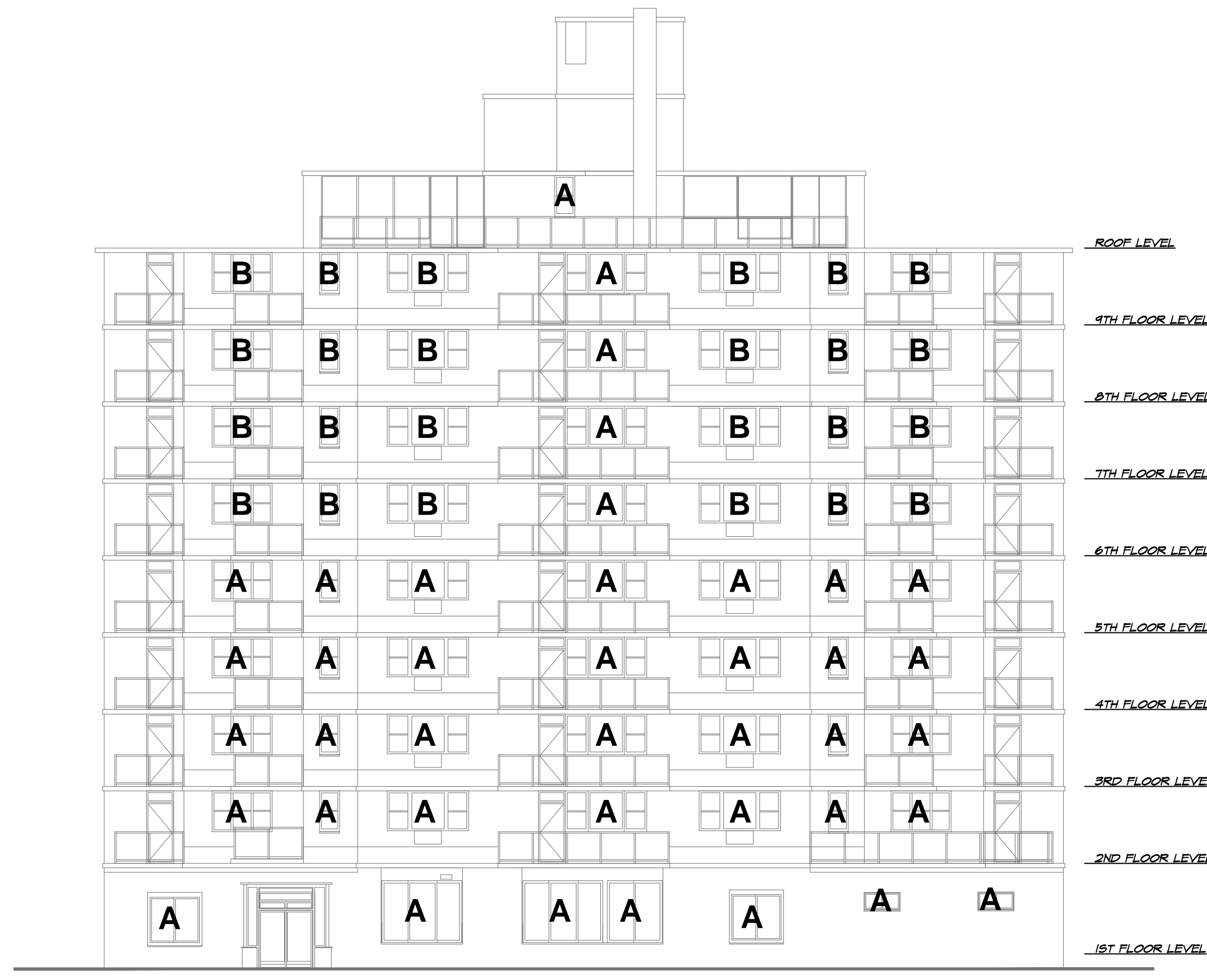
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Replacement Window  
Performance Schedule

Window Replacement  
Harbour Mansion C.A.  
675 Ocean Avenue  
Long Branch, New Jersey

SHEET  
**A-102**  
SHEET 4 OF 8

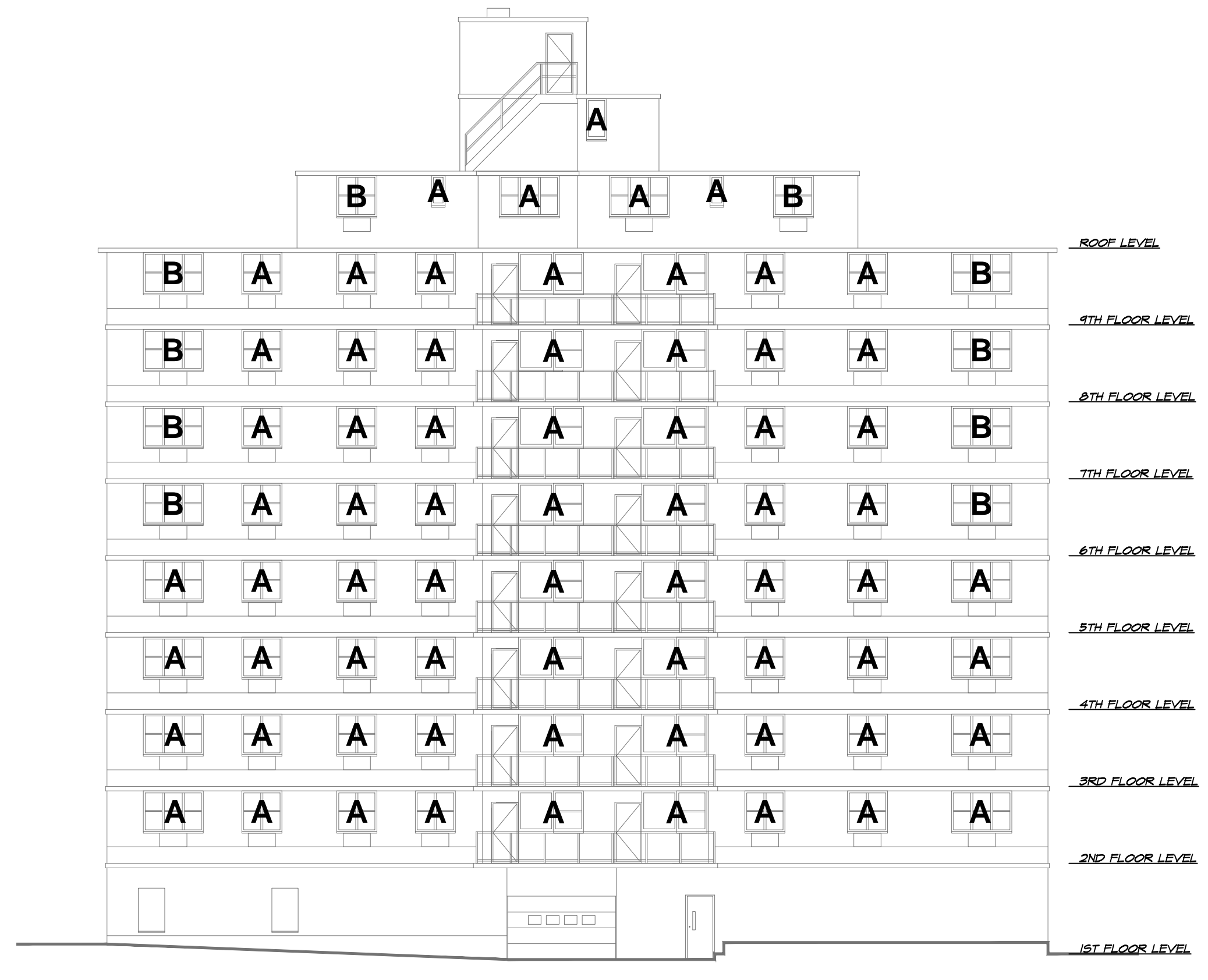
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EAST ELEVATION  
SCALE: N.T.S.

NOTE:  
SEE GUIDELINES FOR WINDOW  
REPLACEMENT FOR COMPLETE  
WINDOW SPECIFICATION

KEY:	
A	CW/AU 40
B	CW/AU 50



WEST ELEVATION  
SCALE: N.T.S.

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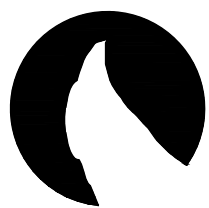
Replacement Window  
Performance Schedule

Window Replacement  
Harbour Mansion C.A.  
675 Ocean Avenue  
Long Branch, New Jersey

SHEET  
A-103

SHEET 5 OF 8

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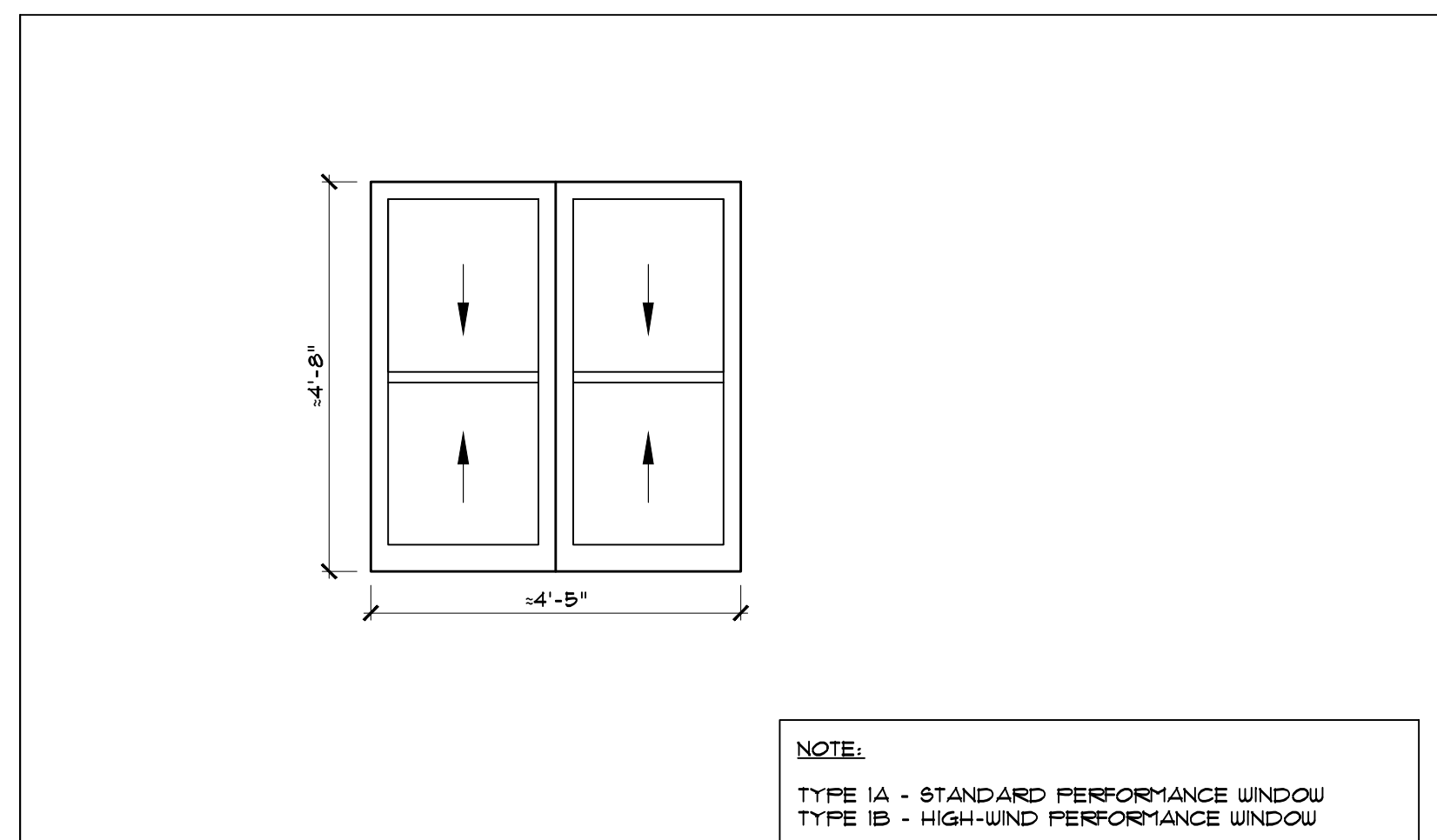


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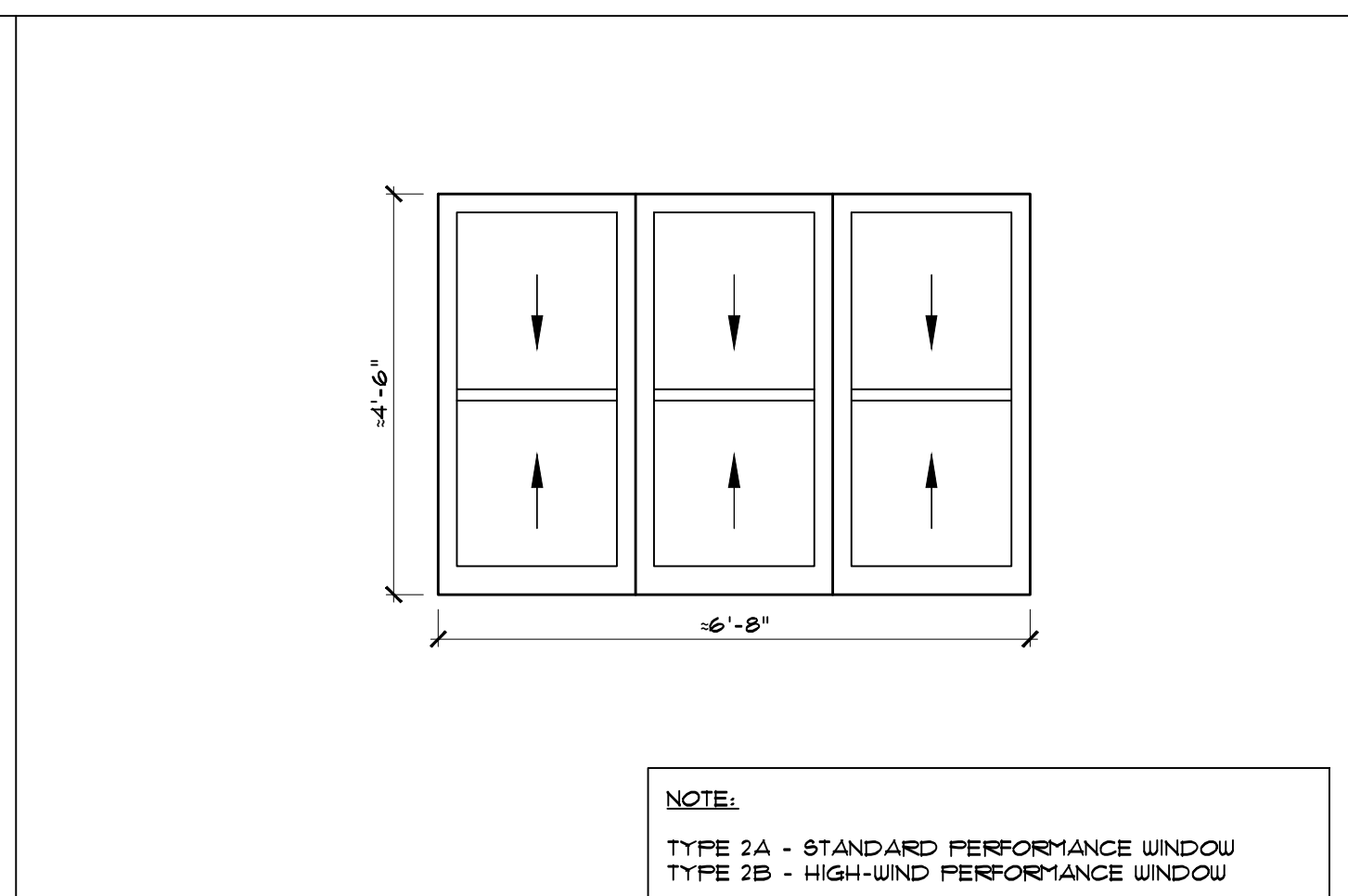
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2	05/17/17	WINDOW FINISH REVISION
3	11/08/16	REVISED STANDARD GLAZING
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5		

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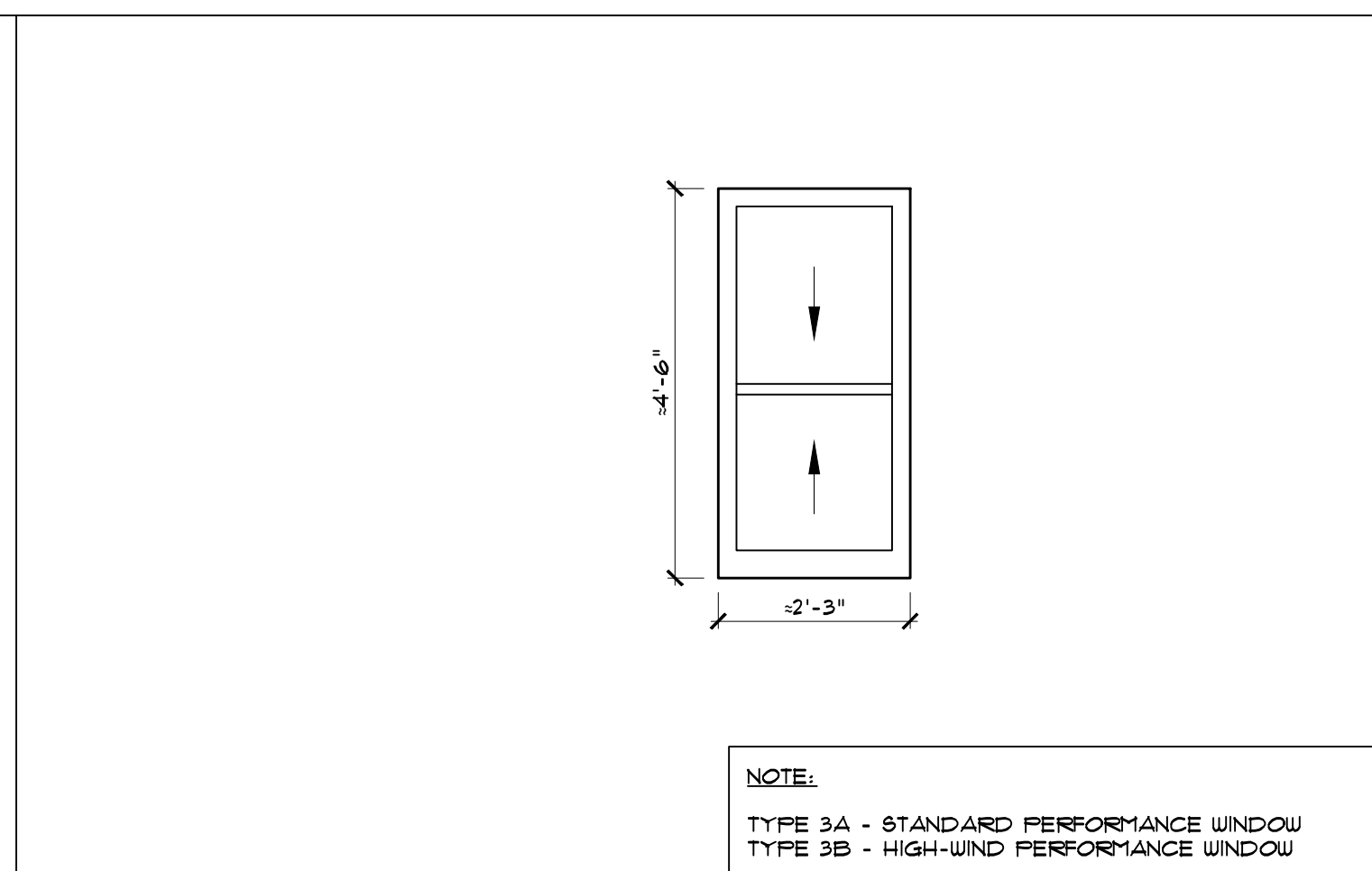
ANTHONY VOLPE  
Professional Engineer NJ #48136



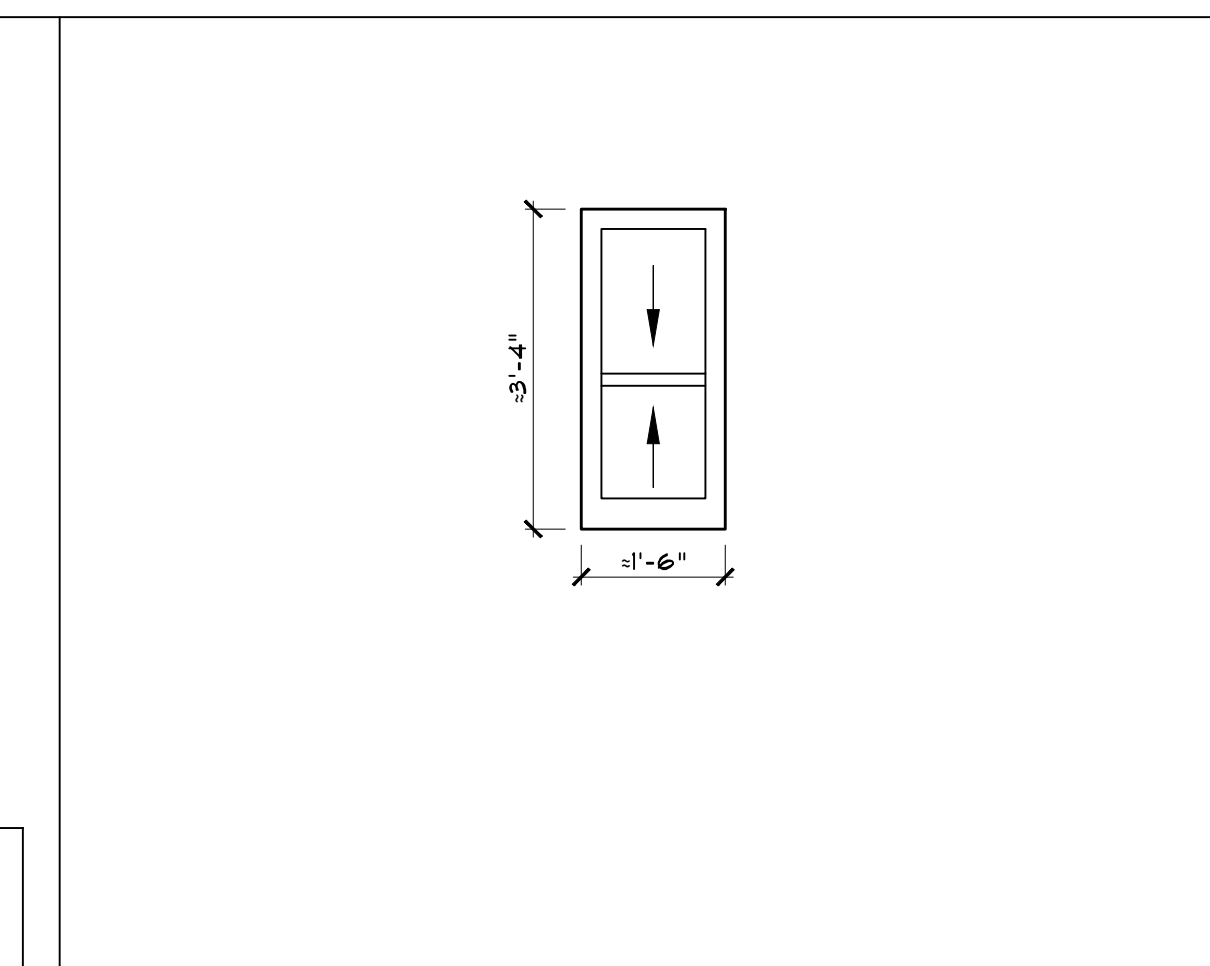
NOTE:  
 TYPE 1A - STANDARD PERFORMANCE WINDOW  
 TYPE 1B - HIGH-WIND PERFORMANCE WINDOW



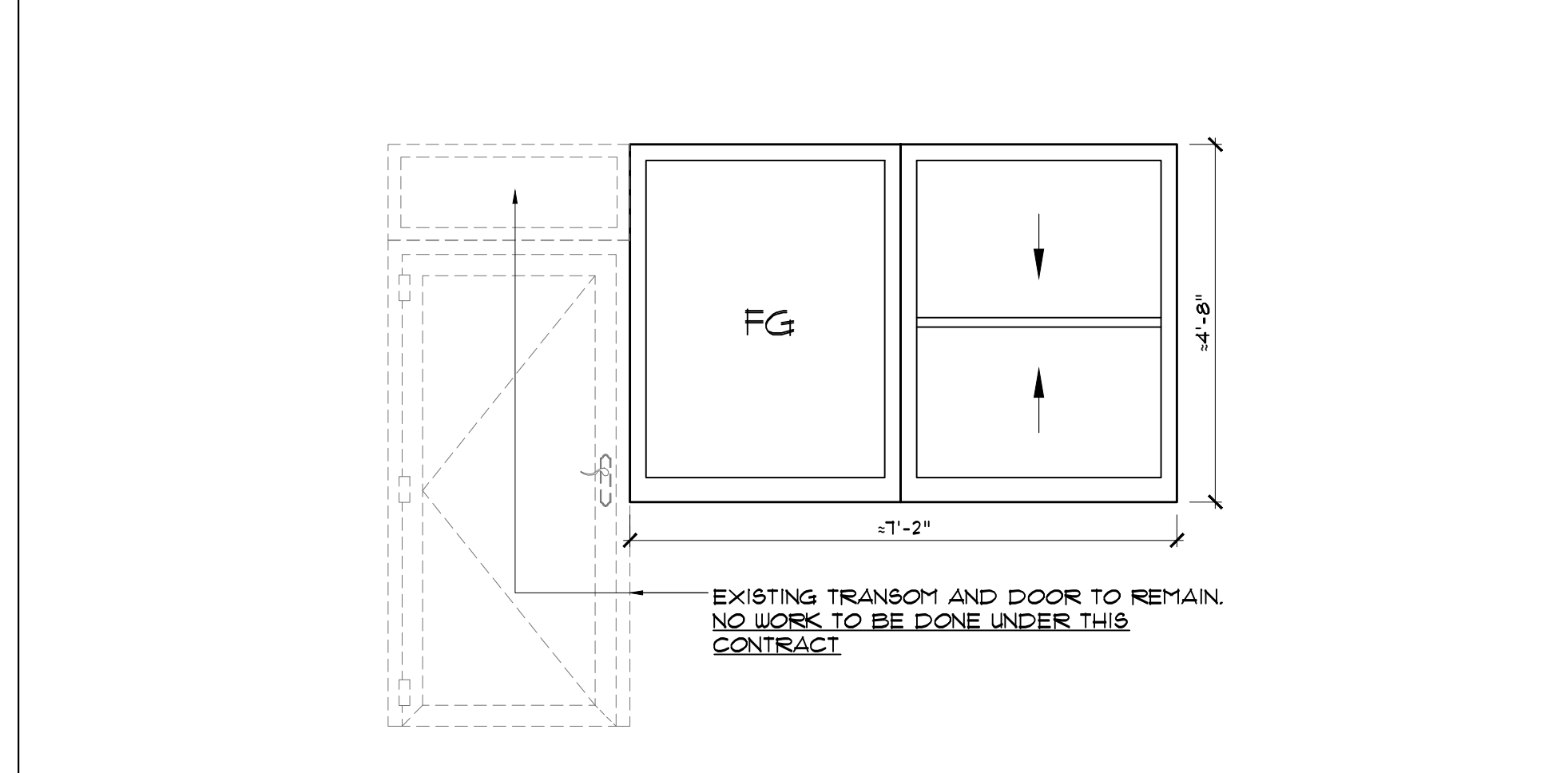
NOTE:  
 TYPE 2A - STANDARD PERFORMANCE WINDOW  
 TYPE 2B - HIGH-WIND PERFORMANCE WINDOW



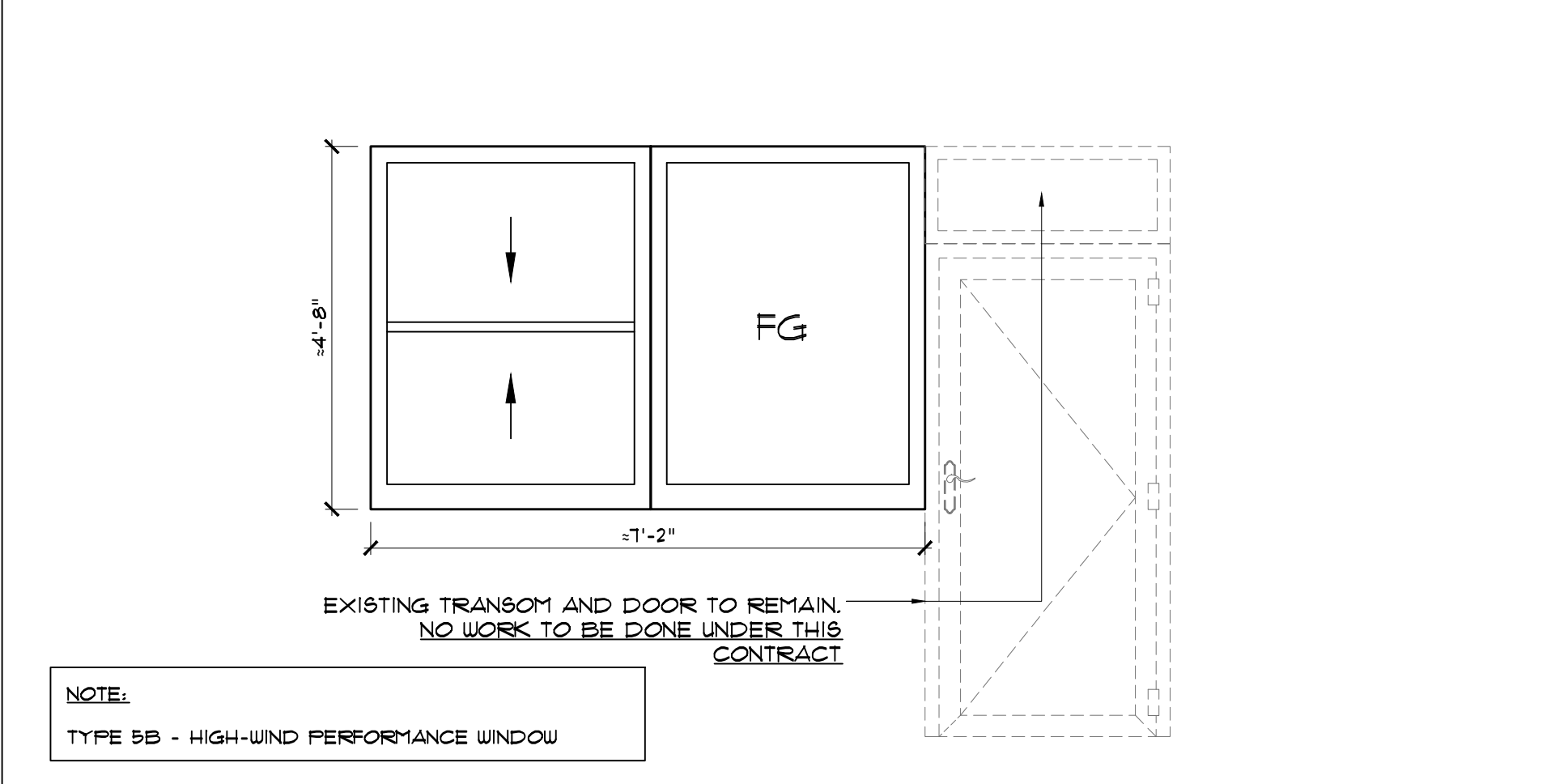
NOTE:  
 TYPE 3A - STANDARD PERFORMANCE WINDOW  
 TYPE 3B - HIGH-WIND PERFORMANCE WINDOW



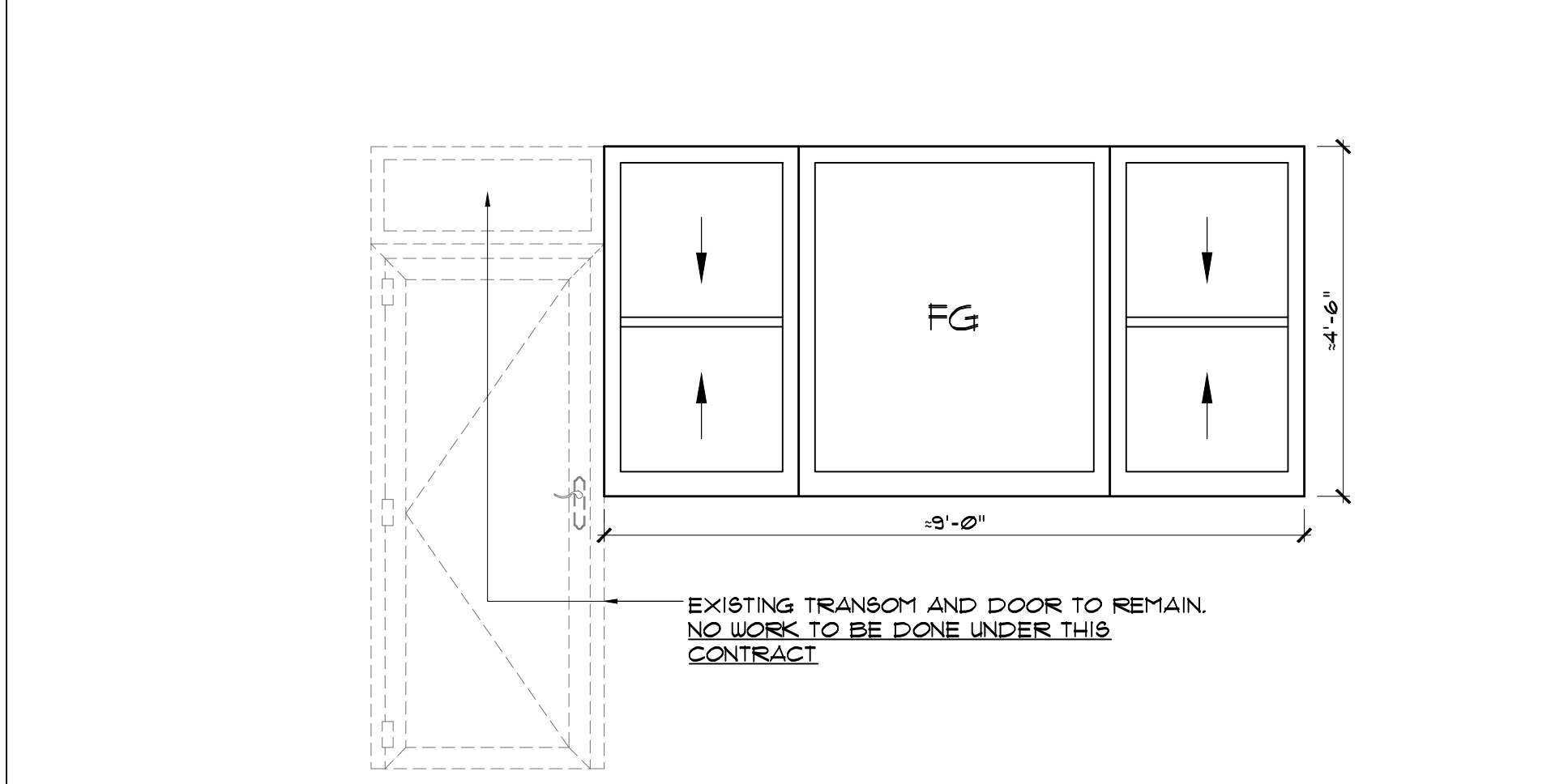
1 WINDOW TYPE 1A AND 1B SCALE: 1/2" = 1'-0"  
 2 WINDOW TYPE 2A AND 2B SCALE: 1/2" = 1'-0"  
 3 WINDOW TYPE 3A AND 3B SCALE: 1/2" = 1'-0"  
 4 WINDOW TYPE 4 SCALE: 1/2" = 1'-0"



EXISTING TRANSOM AND DOOR TO REMAIN.  
 NO WORK TO BE DONE UNDER THIS CONTRACT.

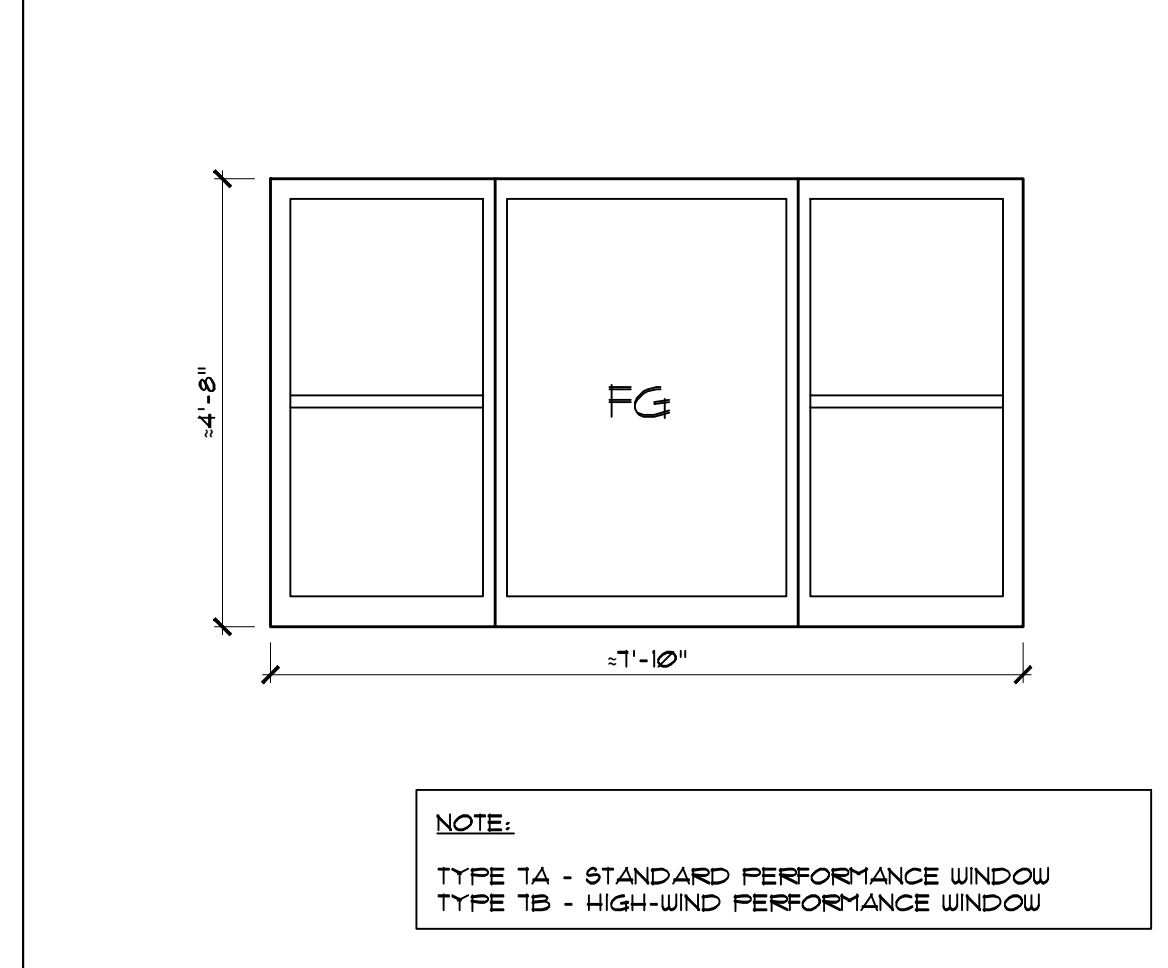


EXISTING TRANSOM AND DOOR TO REMAIN.  
 NO WORK TO BE DONE UNDER THIS CONTRACT.

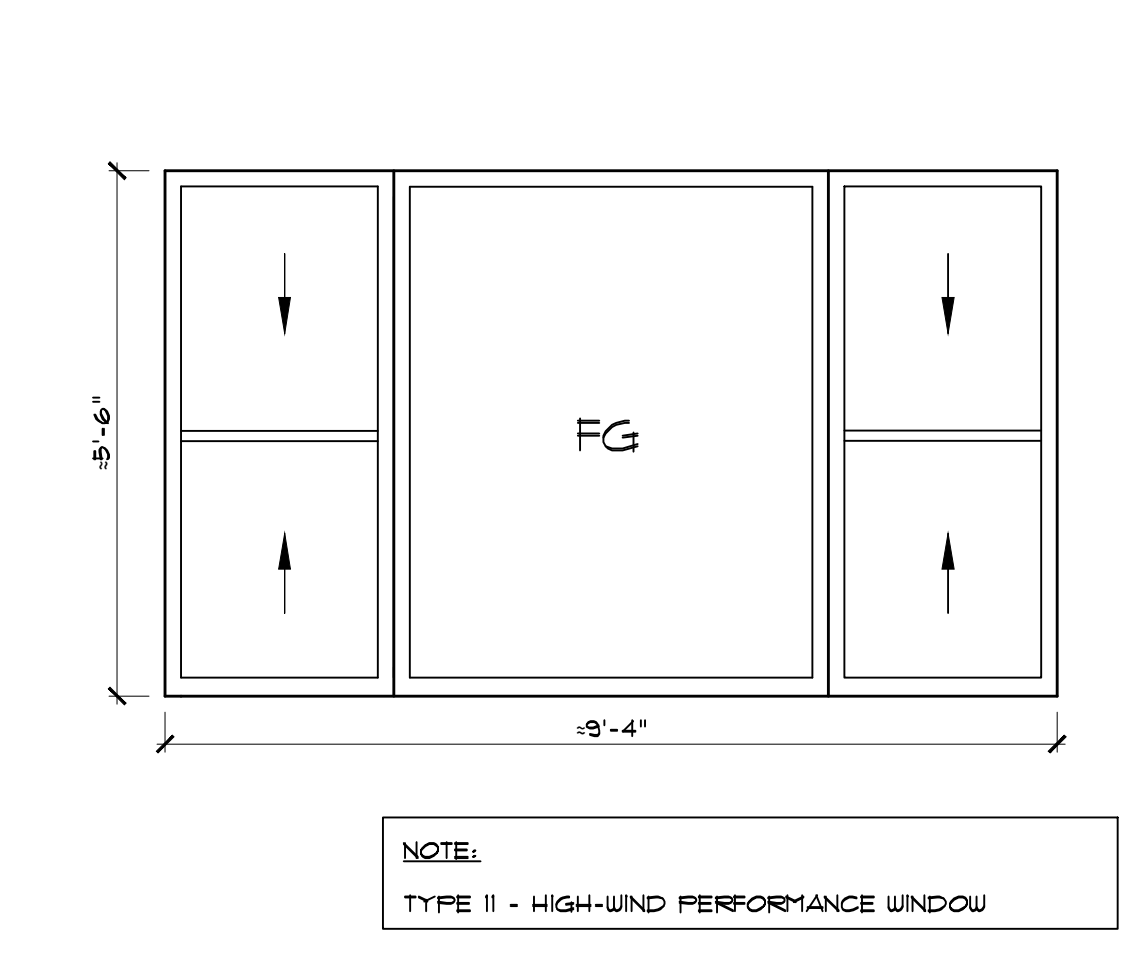
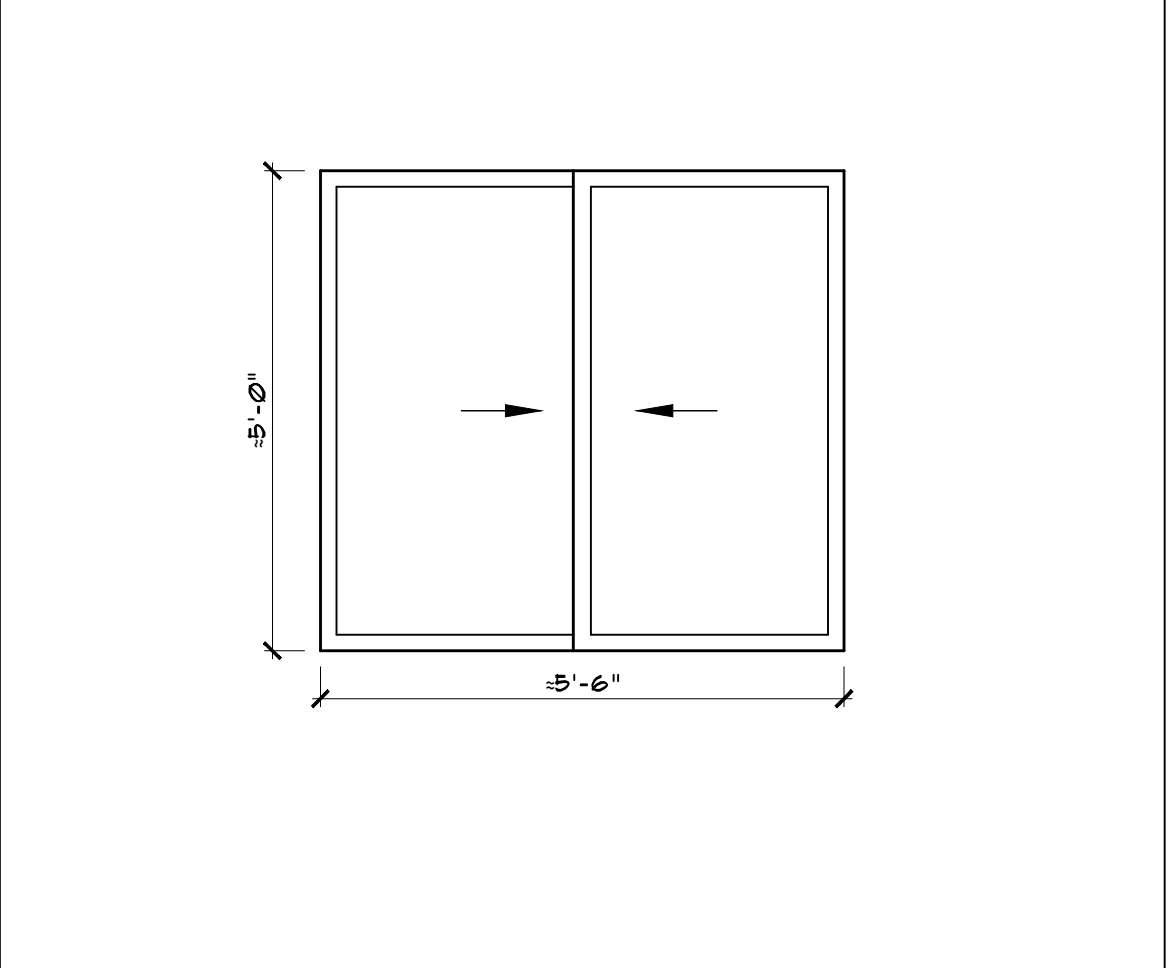
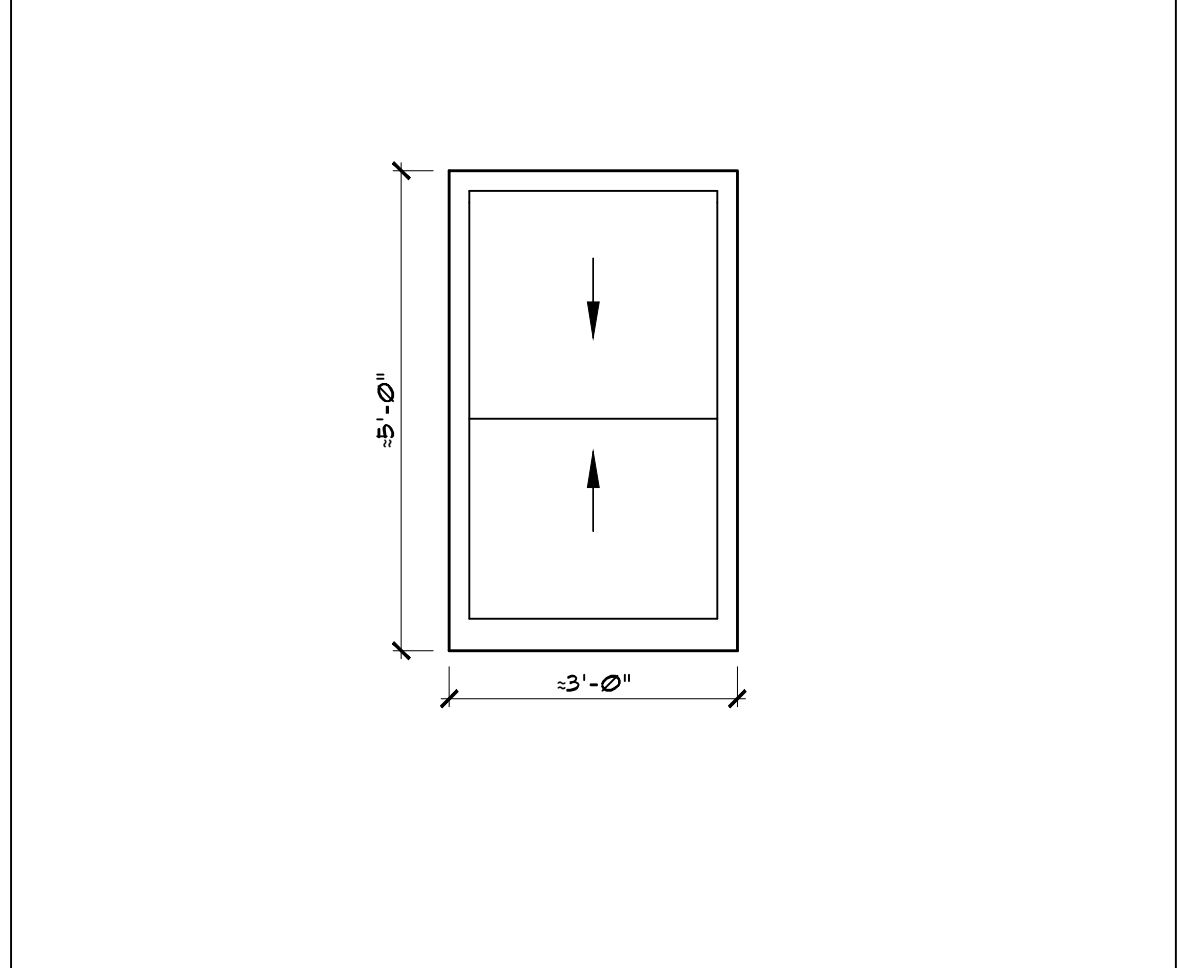
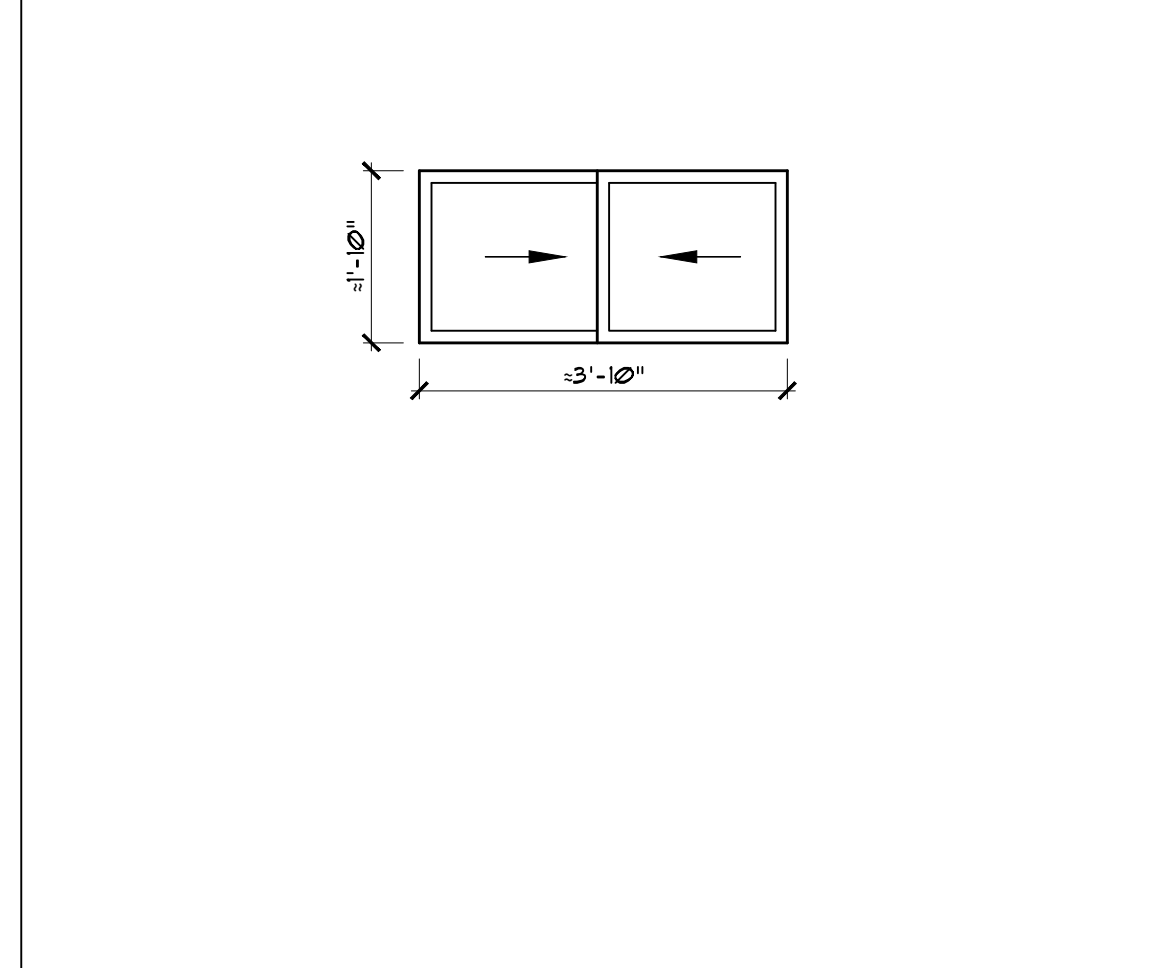


EXISTING TRANSOM AND DOOR TO REMAIN.  
 NO WORK TO BE DONE UNDER THIS CONTRACT.

5 WINDOW TYPE 5A SCALE: 1/2" = 1'-0"  
 6 WINDOW TYPE 5B SCALE: 1/2" = 1'-0"  
 7 WINDOW TYPE 6 SCALE: 1/2" = 1'-0"

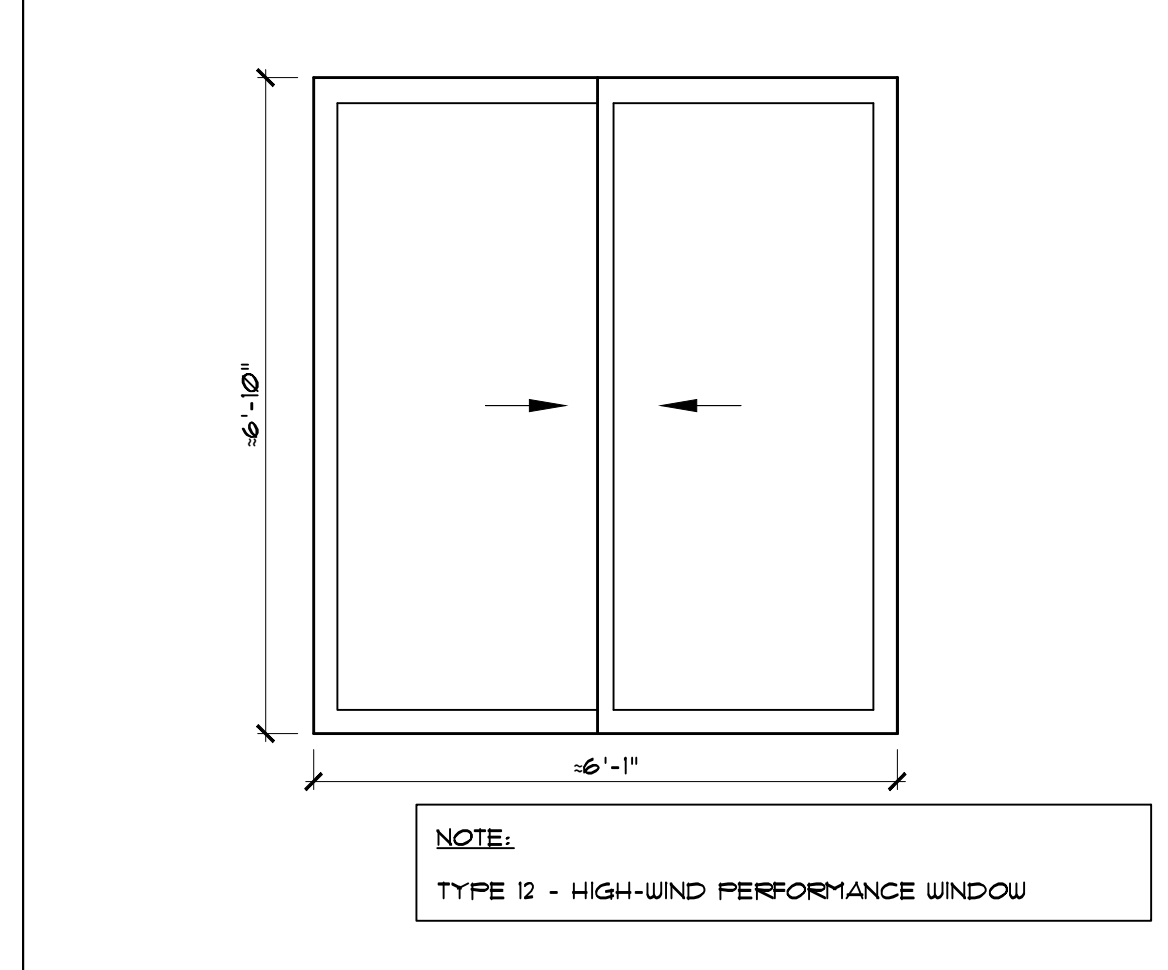


NOTE:  
 TYPE 7A - STANDARD PERFORMANCE WINDOW  
 TYPE 7B - HIGH-WIND PERFORMANCE WINDOW

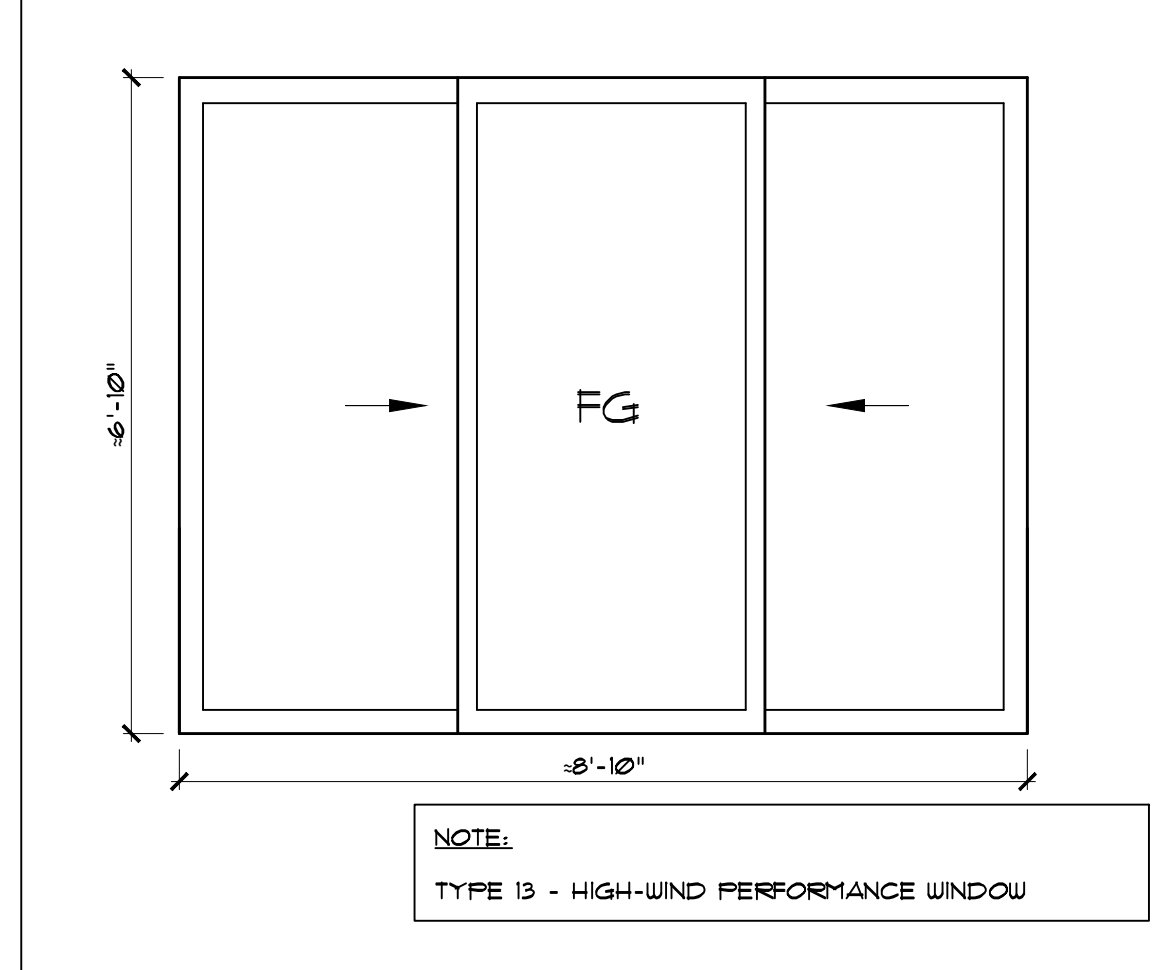


NOTE:  
 TYPE 11 - HIGH-WIND PERFORMANCE WINDOW

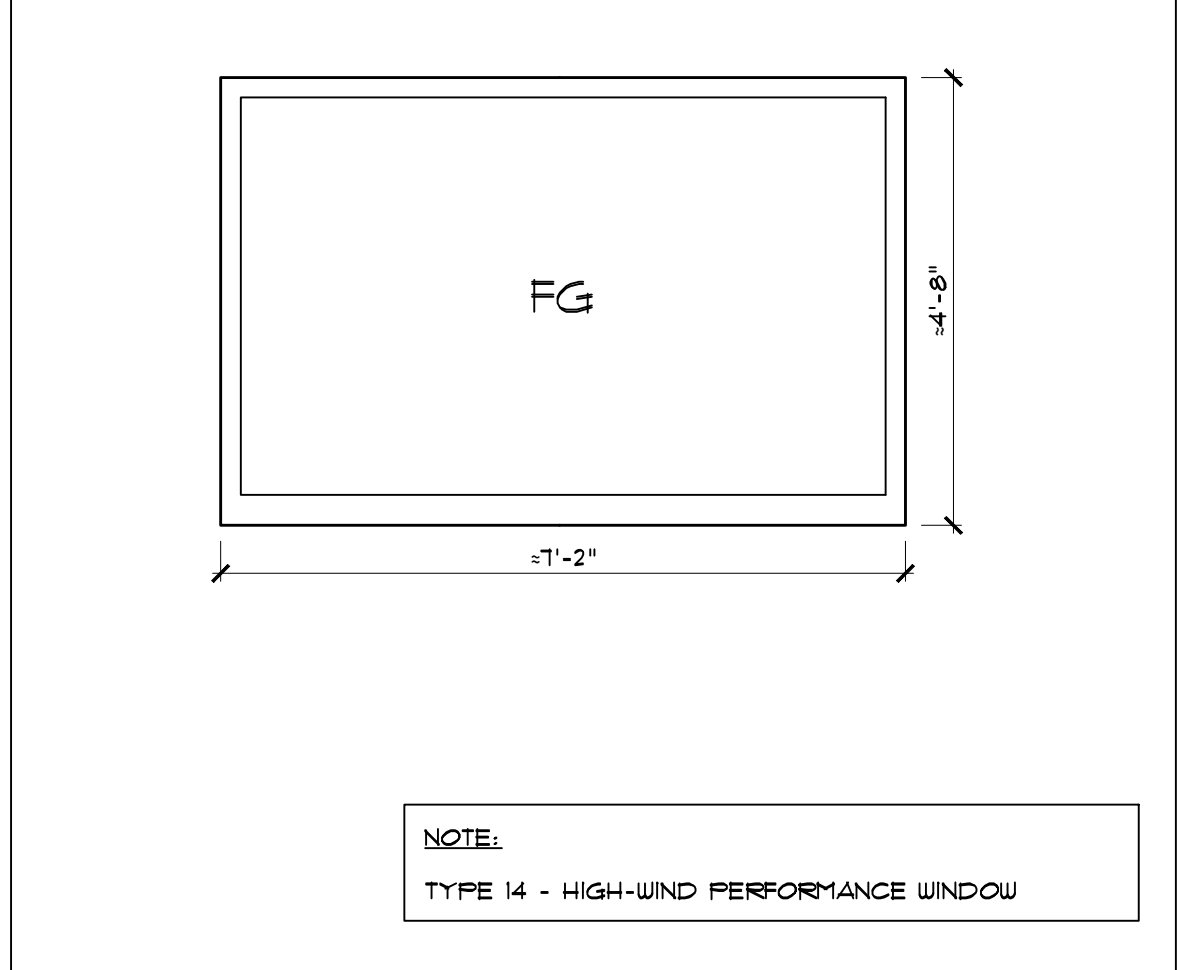
8 WINDOW TYPE 7 SCALE: 1/2" = 1'-0"  
 9 WINDOW TYPE 8 SCALE: 1/2" = 1'-0"  
 10 WINDOW TYPE 9 SCALE: 1/2" = 1'-0"  
 11 WINDOW TYPE 10 SCALE: 1/2" = 1'-0"  
 12 WINDOW TYPE 11 SCALE: 1/2" = 1'-0"



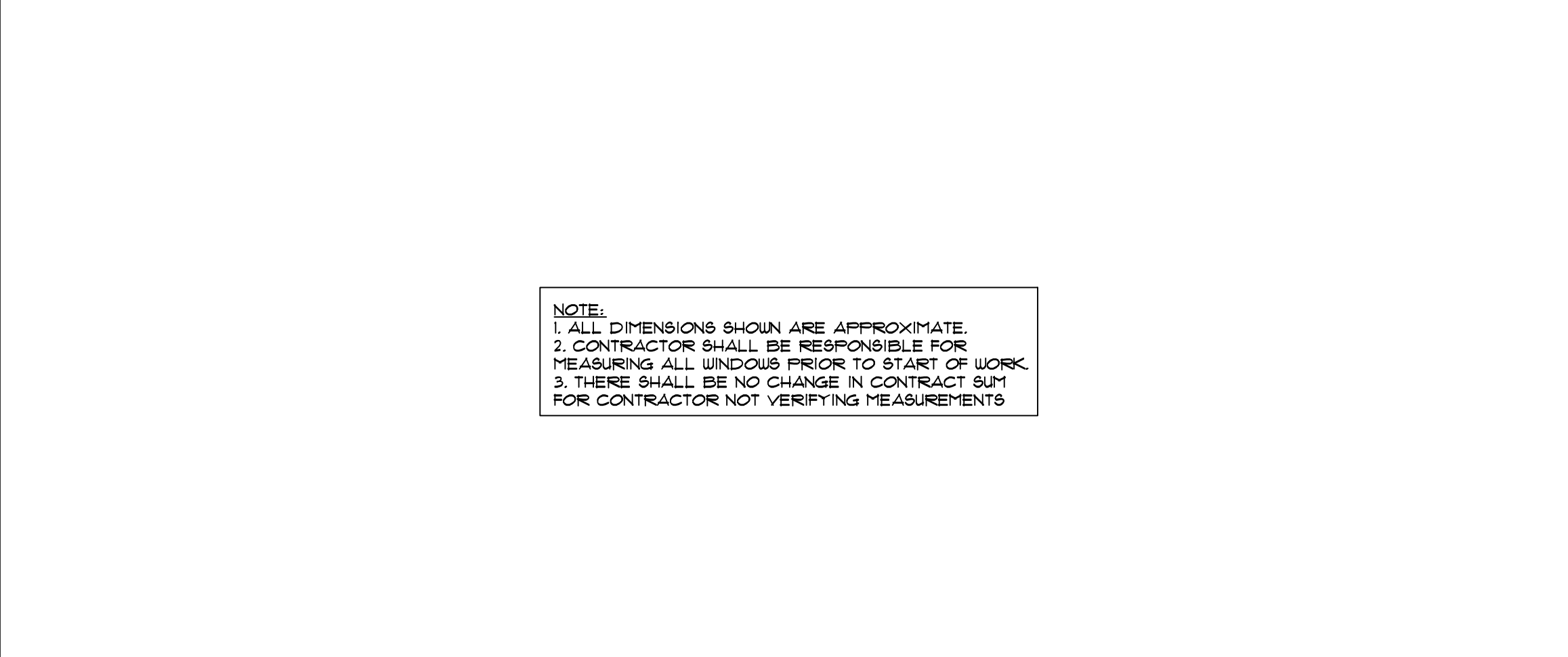
NOTE:  
 TYPE 12 - HIGH-WIND PERFORMANCE WINDOW



NOTE:  
 TYPE 13 - HIGH-WIND PERFORMANCE WINDOW



NOTE:  
 TYPE 14 - HIGH-WIND PERFORMANCE WINDOW



NOTE:  
 1. ALL DIMENSIONS SHOWN ARE APPROXIMATE.  
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR MEASURING ALL WINDOWS PRIOR TO START OF WORK.  
 3. THERE SHALL BE NO CHANGE IN CONTRACT SUM FOR CONTRACTOR NOT VERIFYING MEASUREMENTS.

13 WINDOW TYPE 12 SCALE: 1/2" = 1'-0"  
 14 WINDOW TYPE 13 SCALE: 1/2" = 1'-0"  
 15 WINDOW TYPE 14 SCALE: 1/2" = 1'-0"

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G	A	11/08/16	REVISED STANDARD GLAZING
INIT.	NO.	DATE	REVISION

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 SCALE: AS NOTED  
 DATE: 02/03/15  
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 PROJ. NO.: 04-369

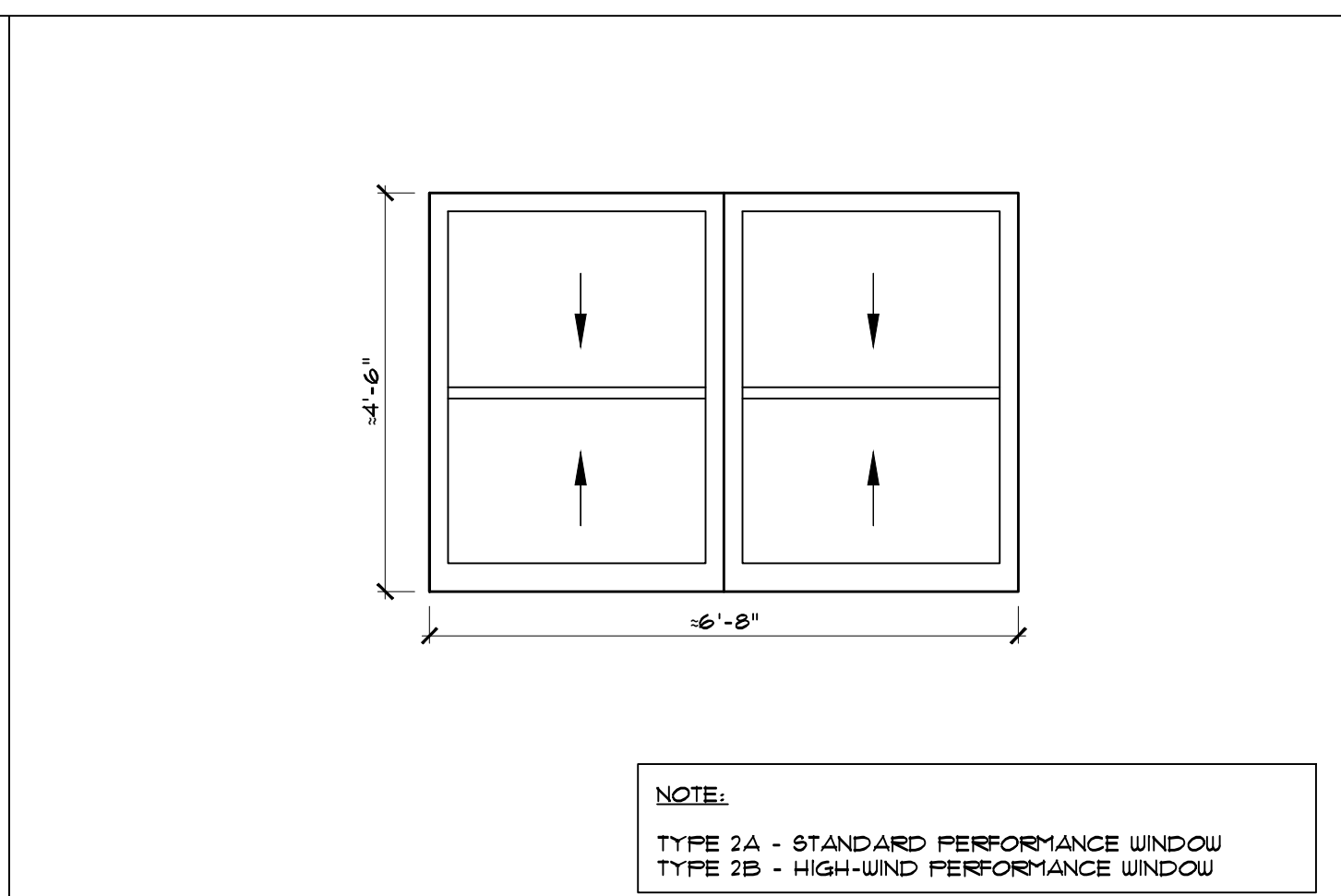
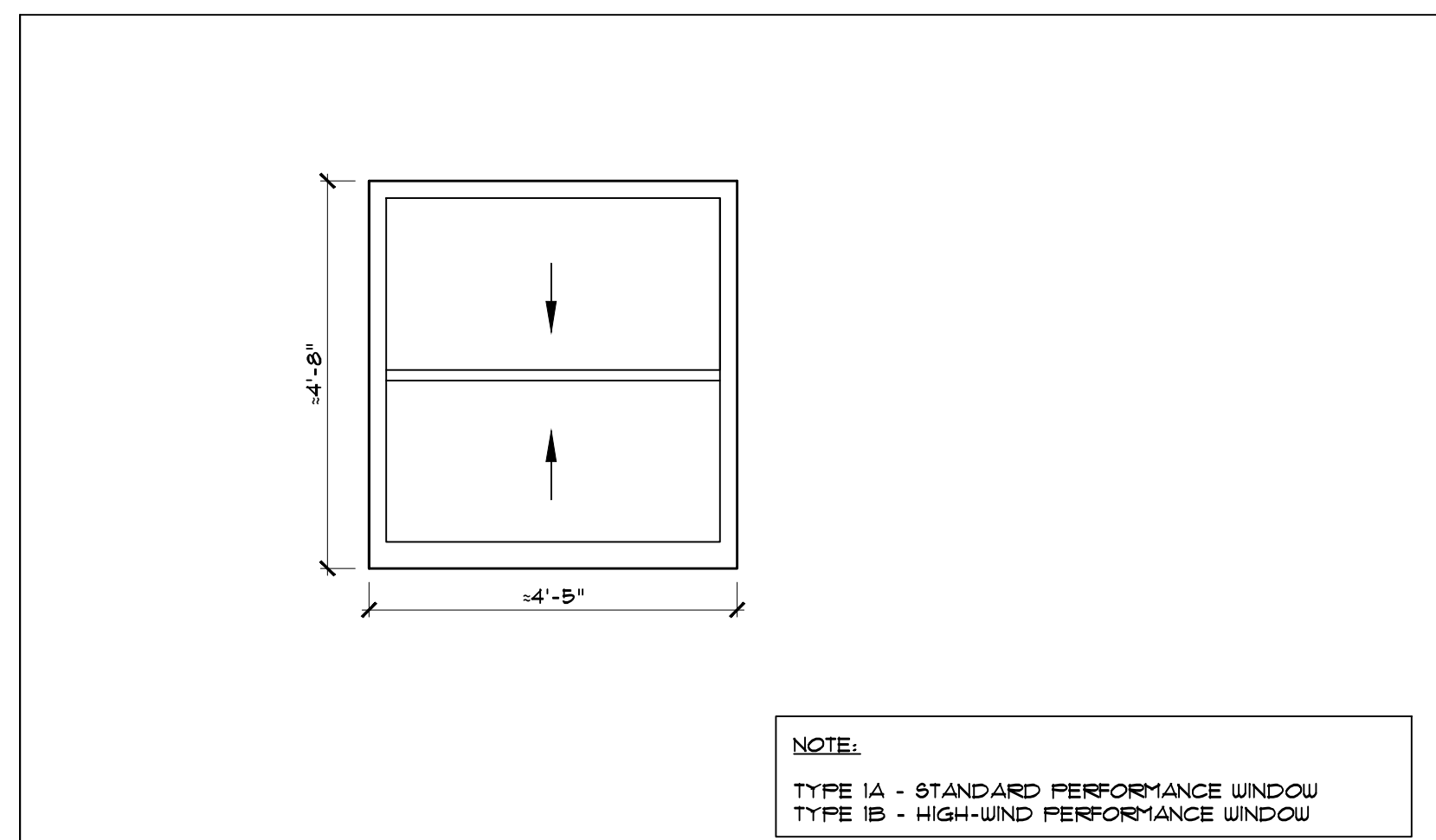
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 675 Ocean Avenue  
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SHEET  
**A-200**  
 SHEET 6 OF 8

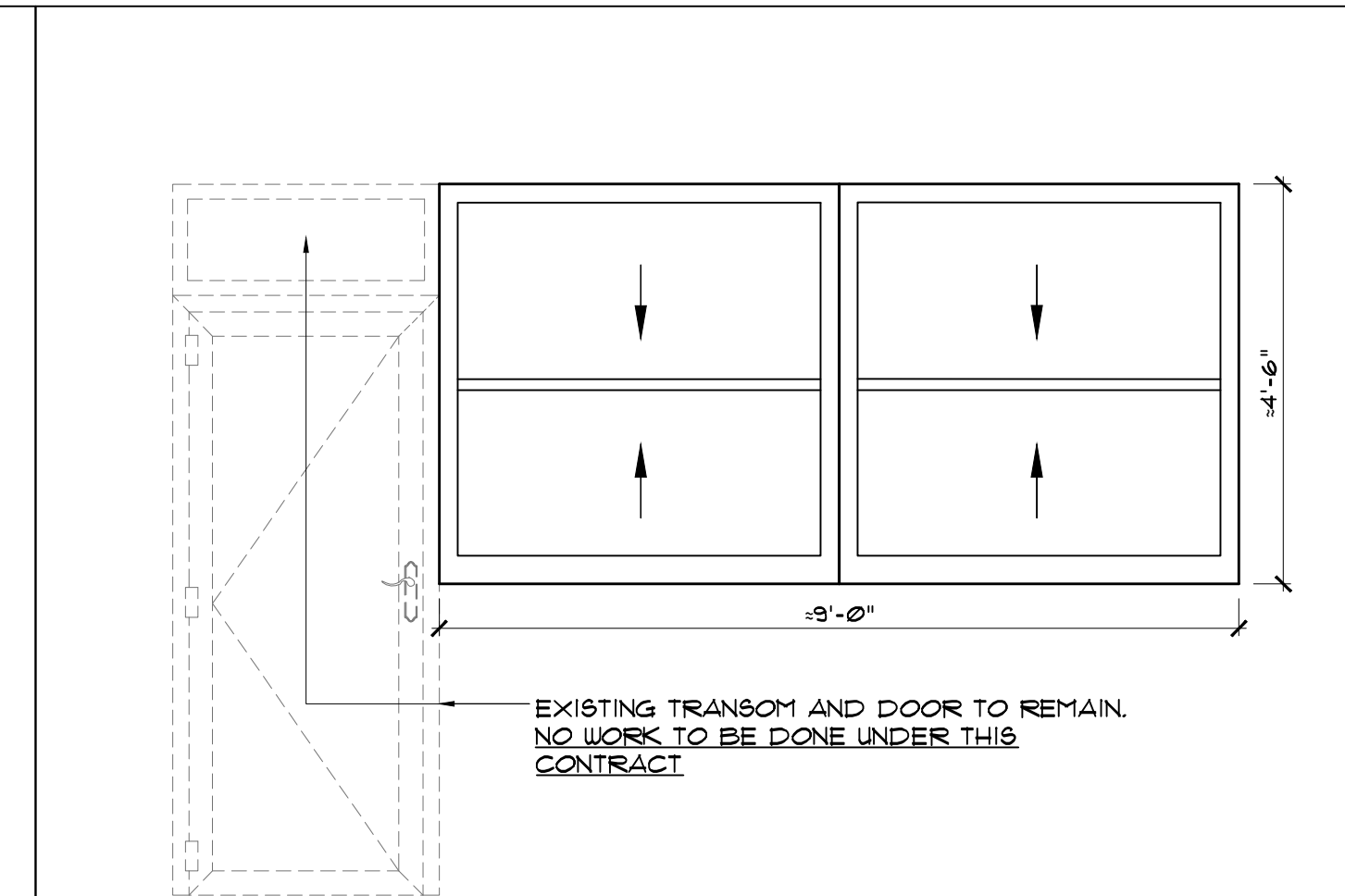
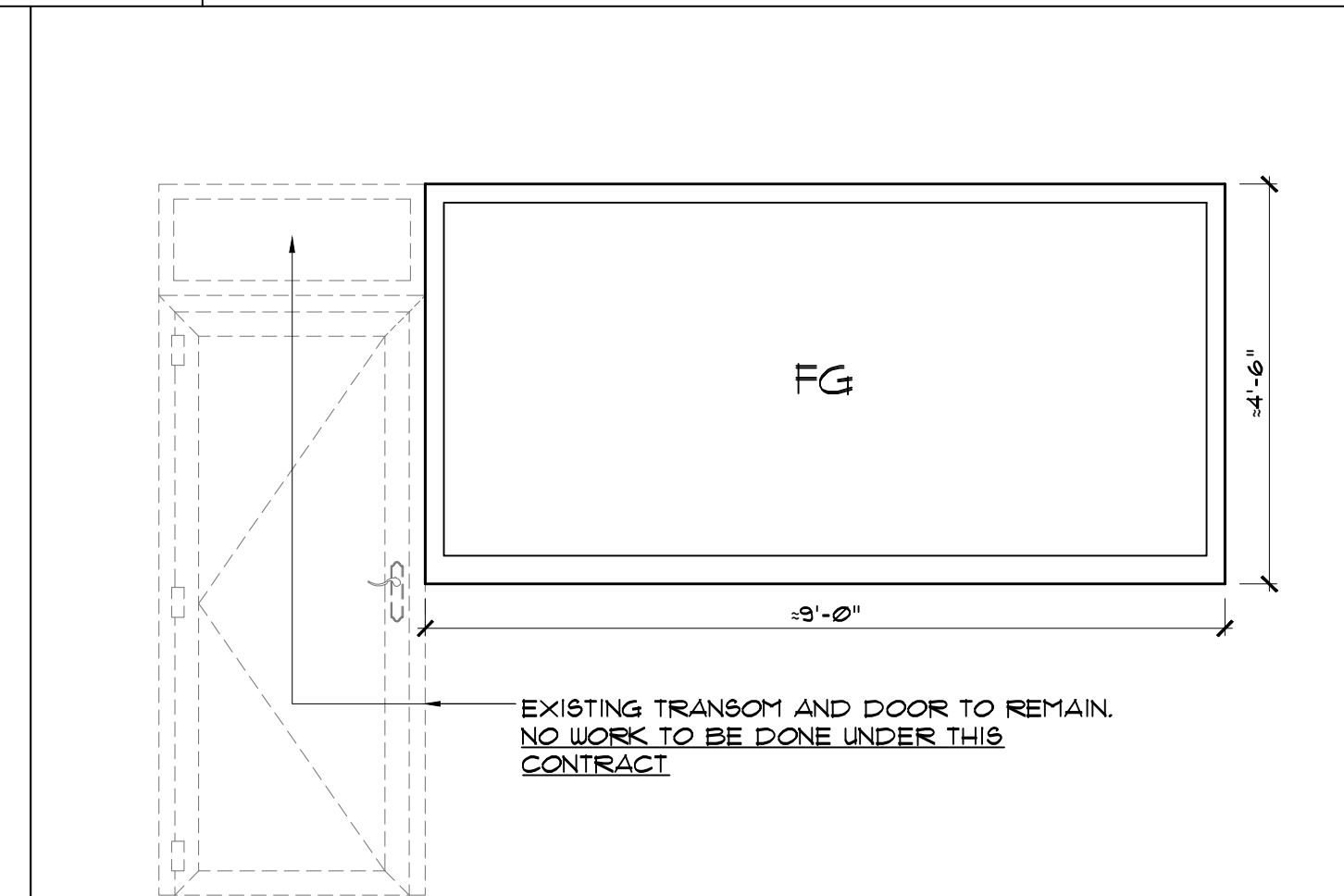
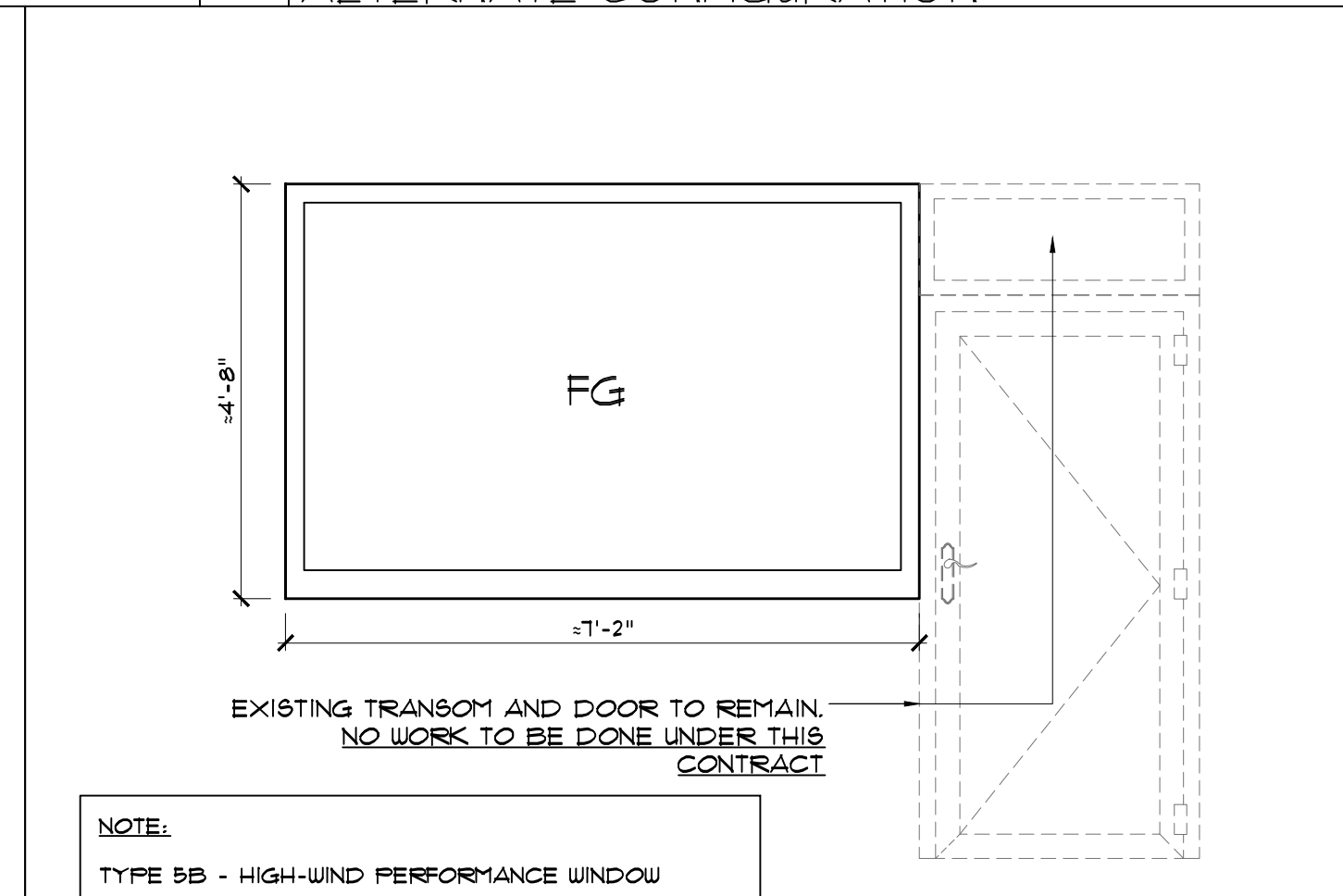
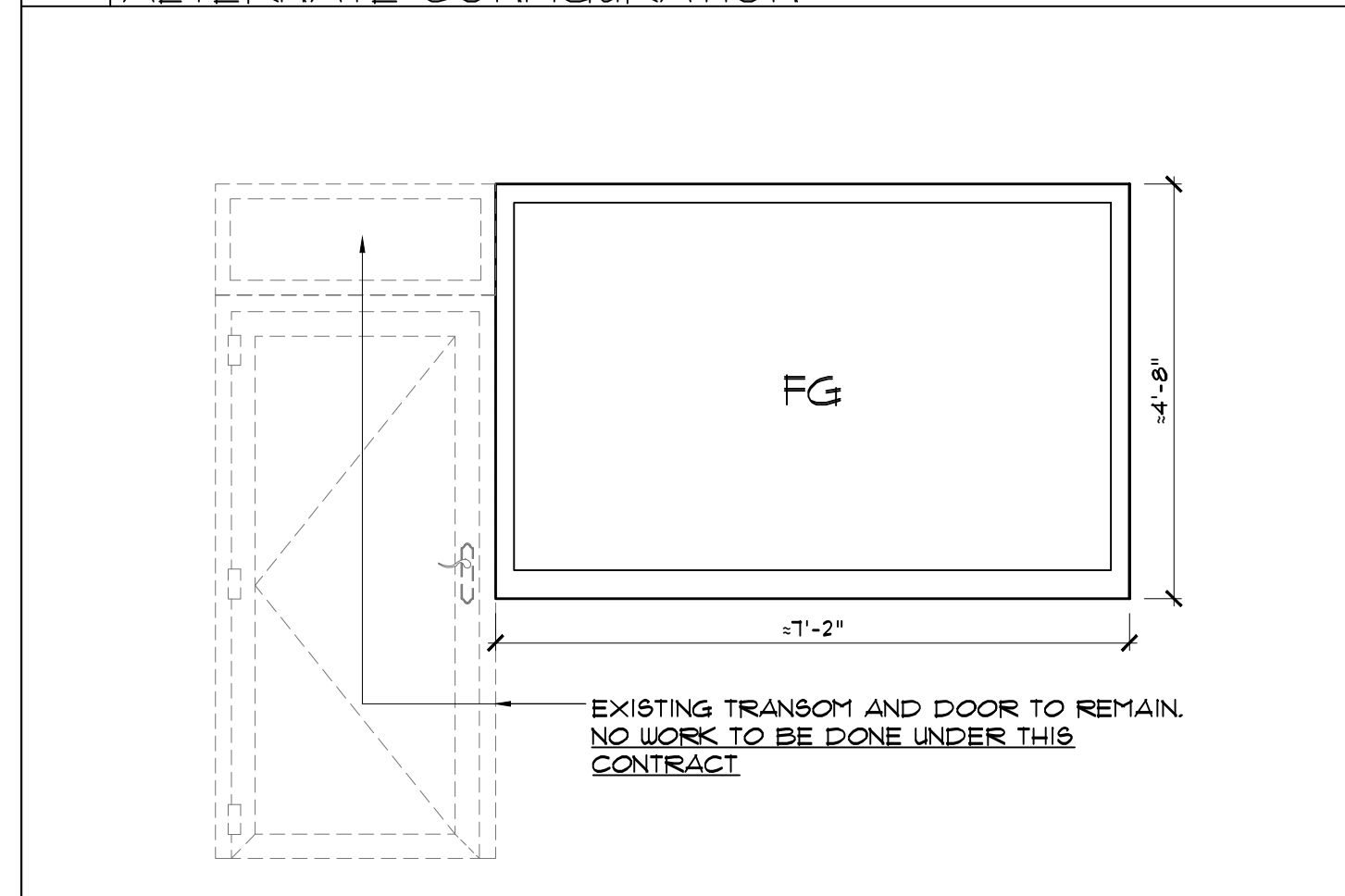
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 Professional Engineer NJ #48136

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1 WINDOW TYPE 1A AND 1B - ALTERNATE CONFIGURATION

2 WINDOW TYPE 2A AND 2B - ALTERNATE CONFIGURATION  
SCALE: 1/2" = 1'-0"

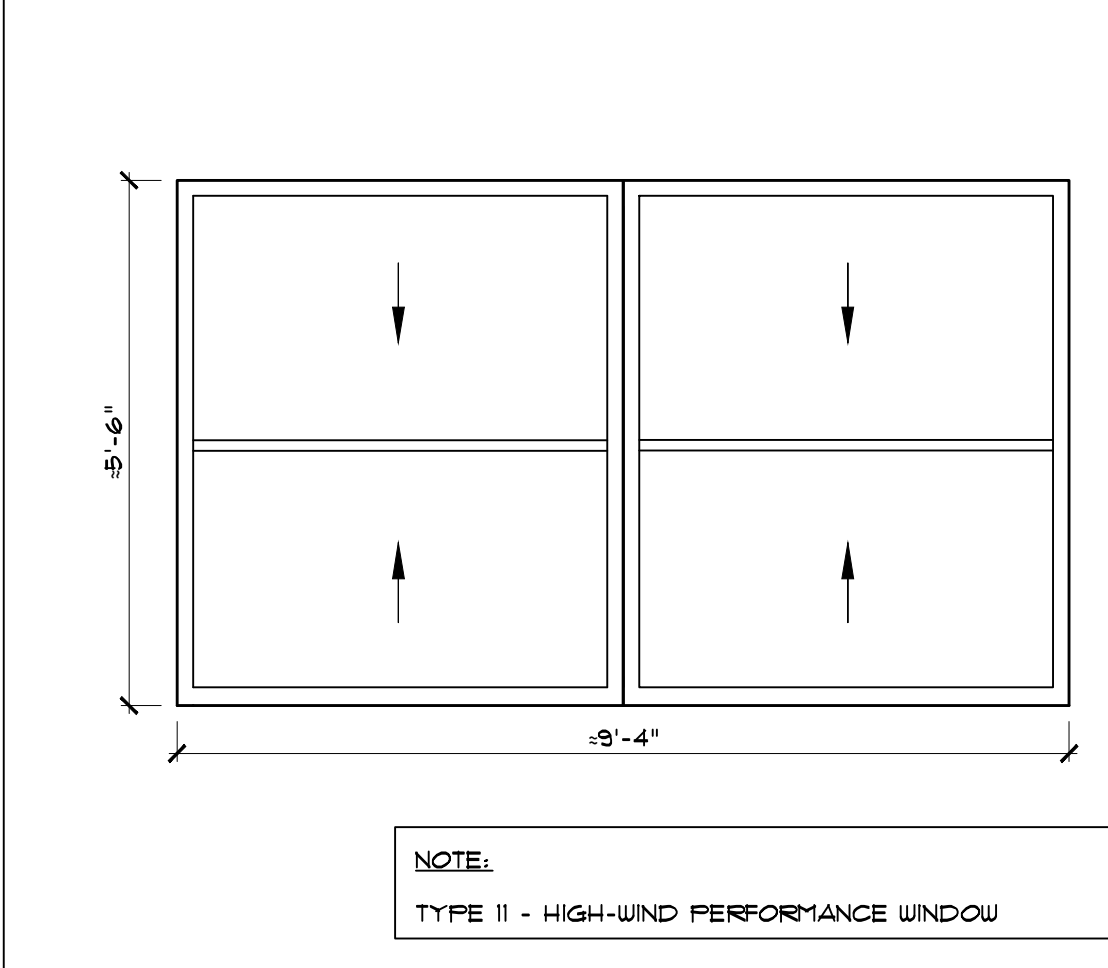
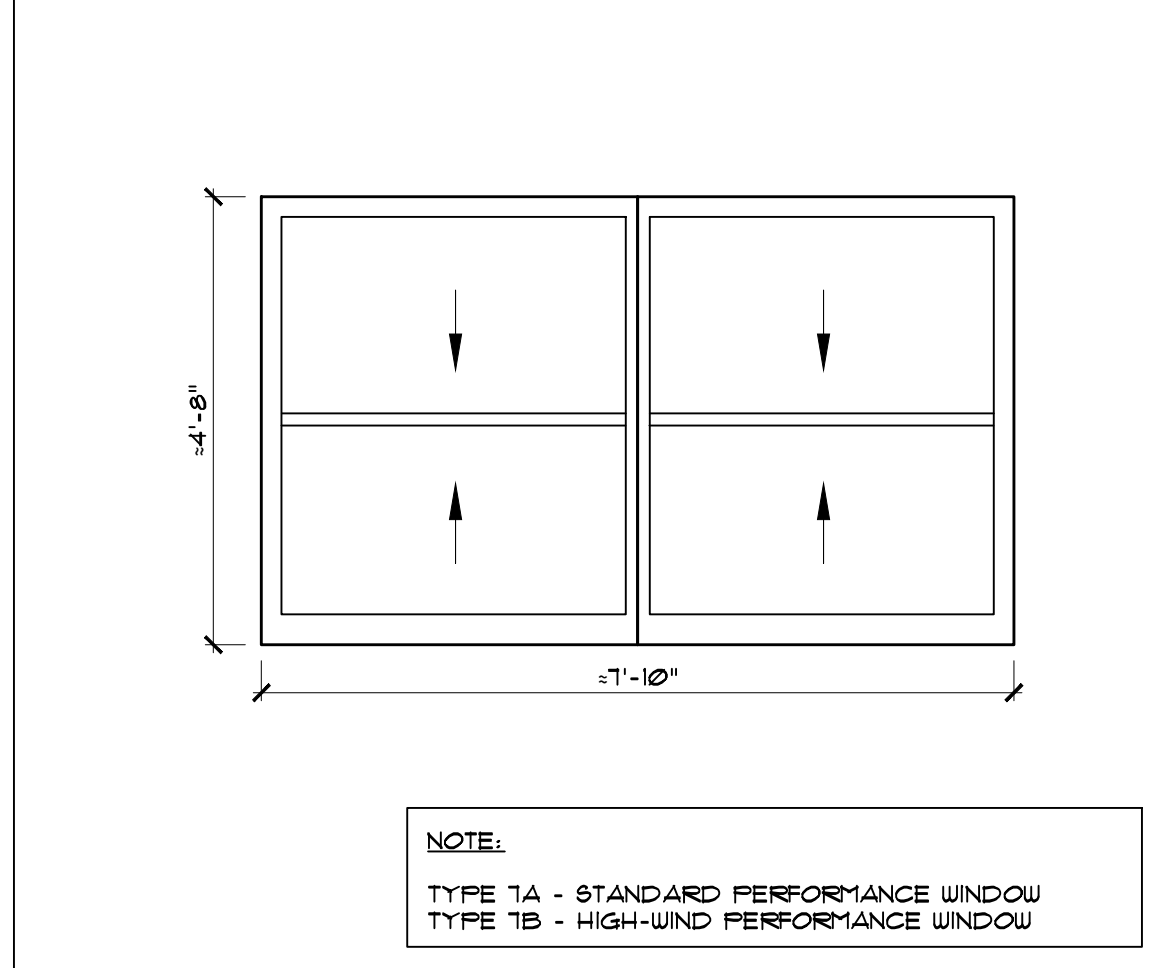
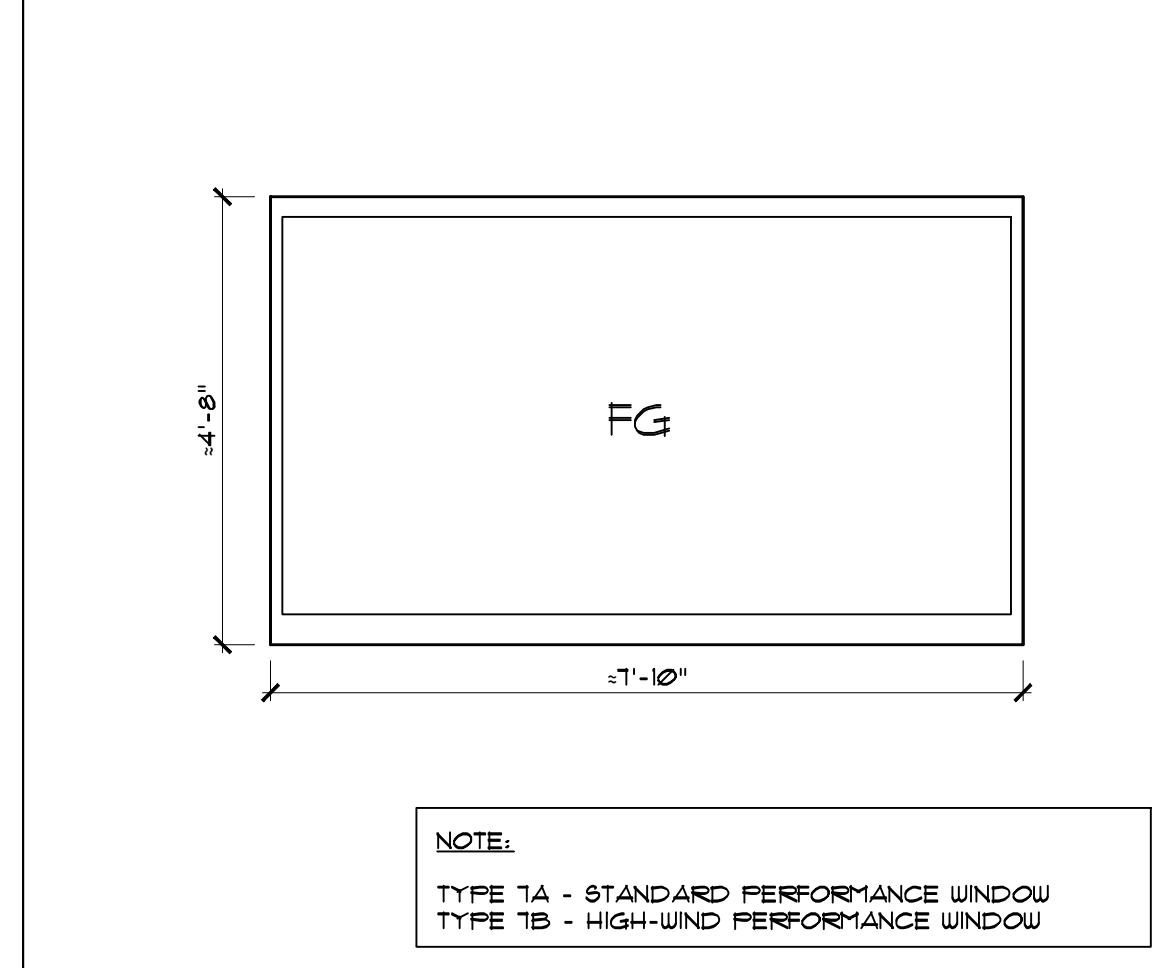


3 WINDOW TYPE 3A - ALT. CONFIGURATION  
SCALE: 1/2" = 1'-0"

4 WINDOW TYPE 3B - ALT. CONFIGURATION  
SCALE: 1/2" = 1'-0"

5 WINDOW TYPE 5 - ALT. CONFIGURATION #1  
SCALE: 1/2" = 1'-0"

6 WINDOW TYPE 6 - ALT. CONFIGURATION #2  
SCALE: 1/2" = 1'-0"



7 WINDOW TYPE 7 - ALT. CONFIGURATION #1  
SCALE: 1/2" = 1'-0"

8 WINDOW TYPE 7 - ALT. CONFIGURATION #2  
SCALE: 1/2" = 1'-0"

9 WINDOW TYPE 11 - ALT. CONFIGURATION  
SCALE: 1/2" = 1'-0"

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G	A	11/08/16	REVISED STANDARD GLAZING
INIT.	NO.	DATE	REVISION

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DATE: 02/03/15  
DTPRS: AS NOTED  
SCALE: AS NOTED

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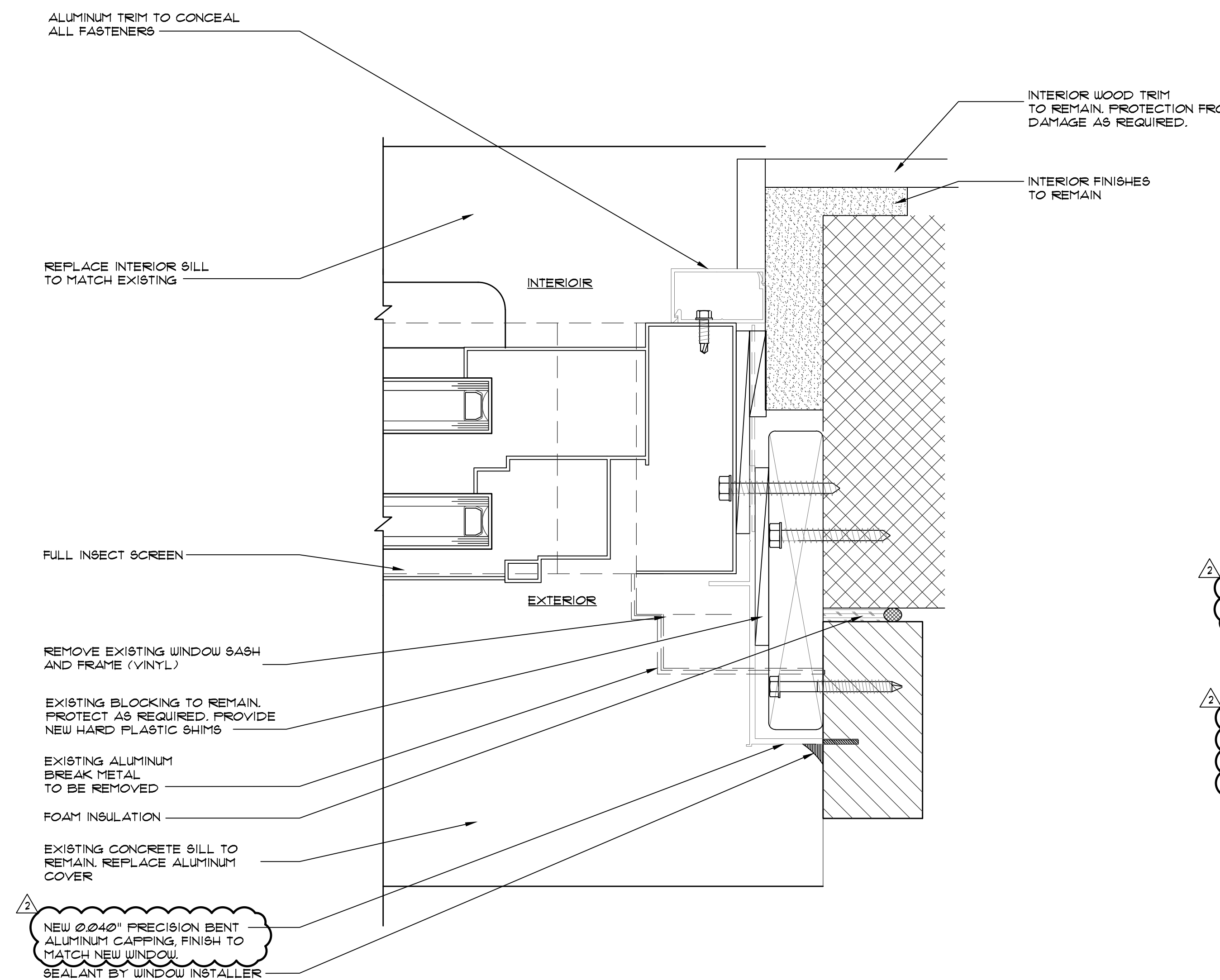
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Professional Engineer NJ #48136

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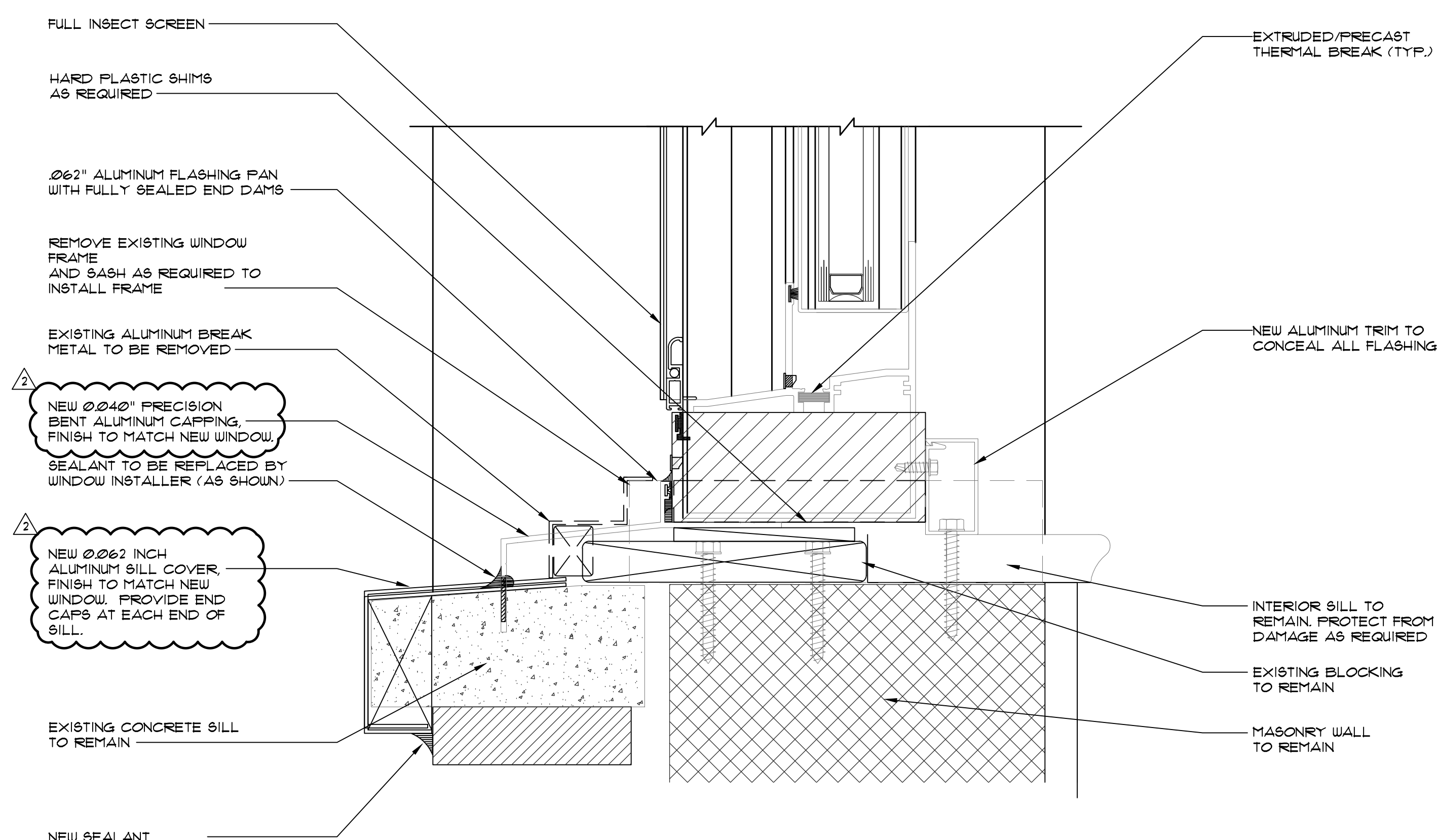
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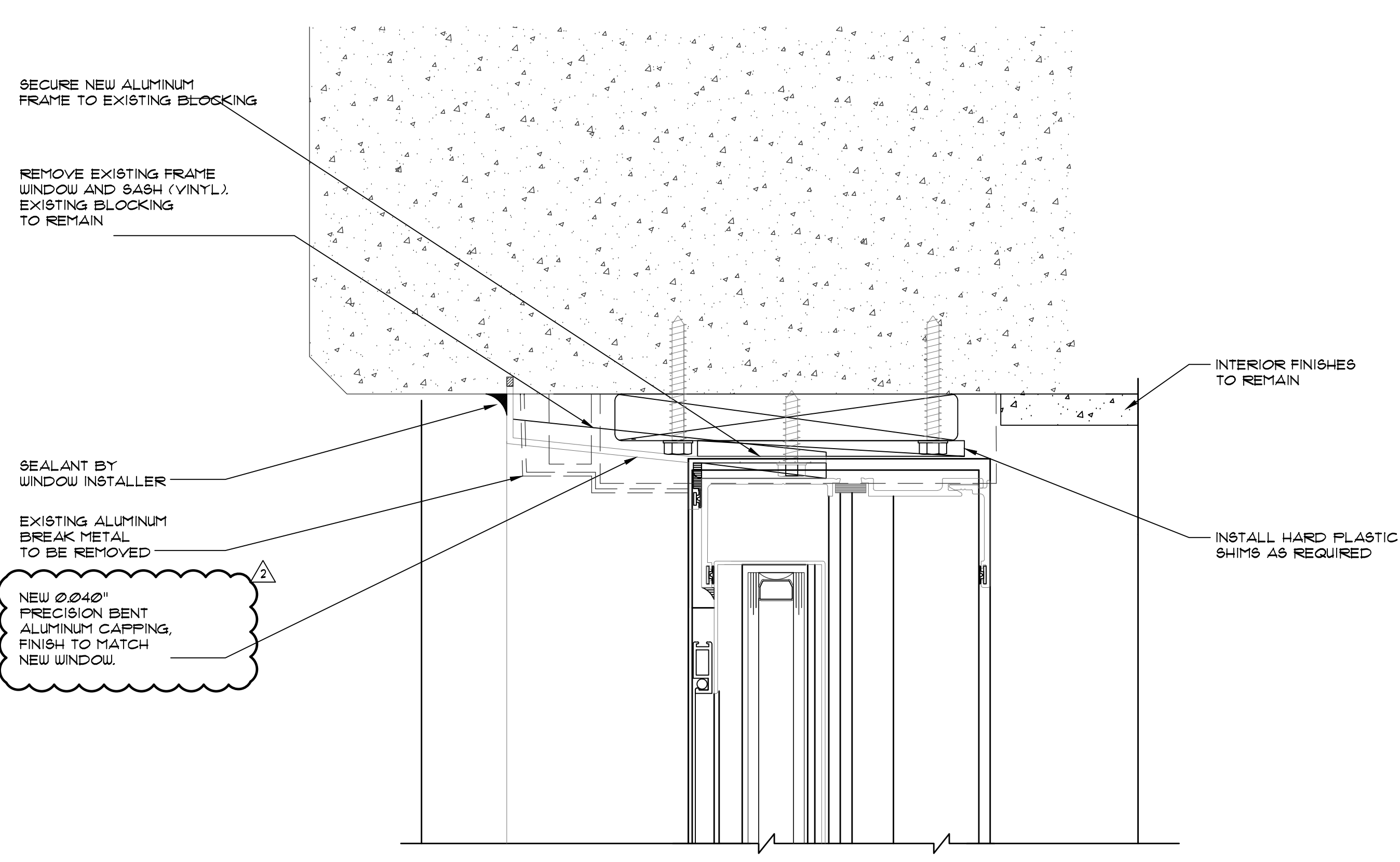




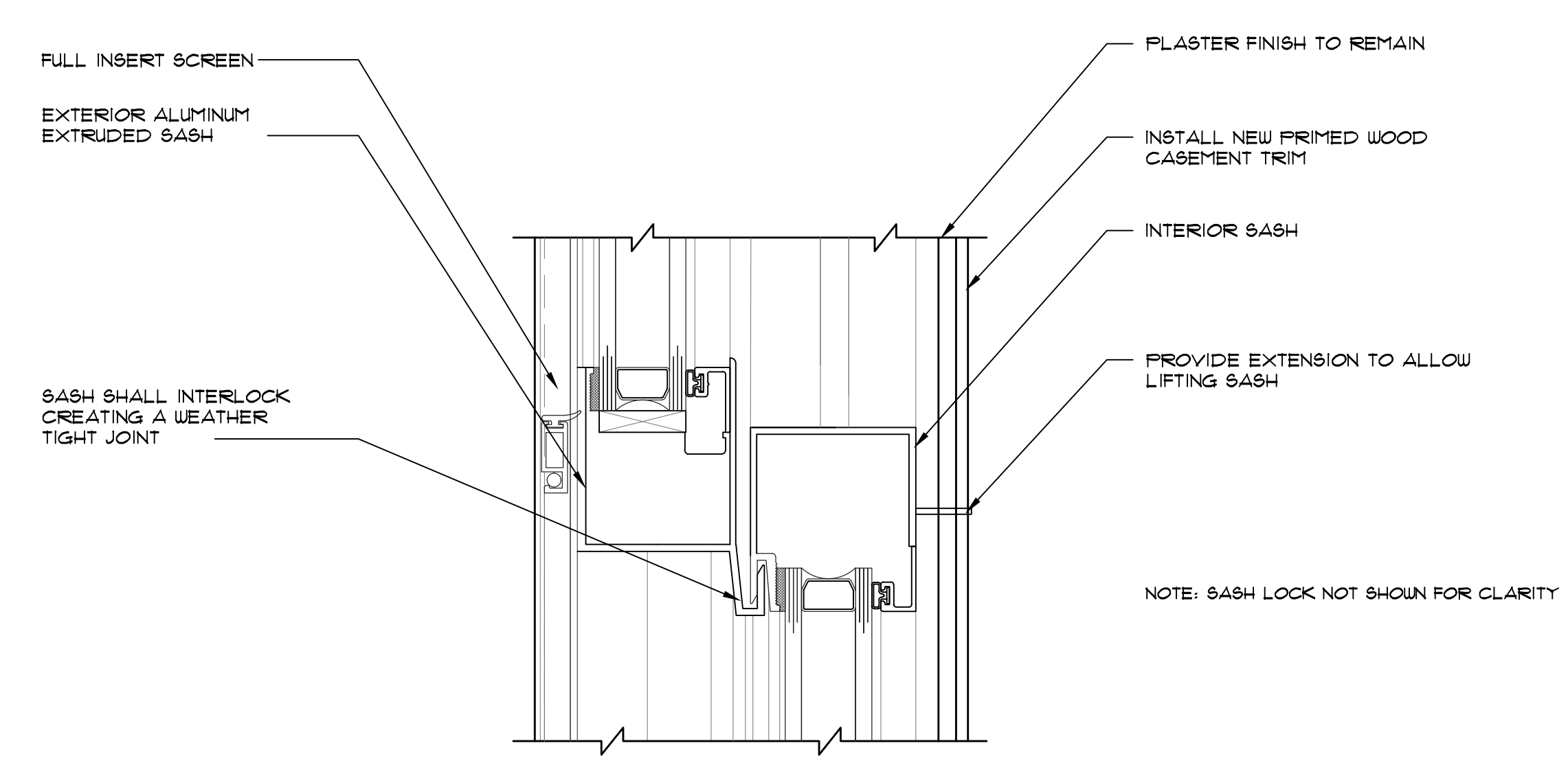
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SCALE: N.T.S



SECTION AT SILL  
SCALE: N.T.S



SECTION AT HEAD  
SCALE: N.T.S



SECTION AT MEETING RAIL  
SCALE: N.T.S

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3	11/08/16	REVISED STANDARD GLAZING
		REVISION

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Professional Engineer NJ #48136

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Construction Details  
Window Replacement  
Harbour Mansion C.A.  
675 Ocean Avenue  
Long Branch, New Jersey

SHEET  
A-202

SHEET 8 OF 8